



PROPOSED INDUSTRIAL BUILDING
CLIENT: PRICE DEVELOPMENTS
ADDRESS: LOT 17 ACCESS CRESCENT, COOLUM, QLD
CLASS 7/8 BUILDING / TYPE "C" CONSTRUCTION



SITE LEVELS

REFER TO ENGINEERS DRAWINGS FOR SITE LEVELS, FINISHED PAVEMENT, DRIVEWAY LEVELS & STORMWATER CATCHMENT DETAILS

CONSTRUCTION GENERALLY

THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING STABILITY OF THE STRUCTURE UNTIL COMPLETION OF CONSTRUCTION AND SHALL ENSURE THAT NO PART OF THE STRUCTURE IS OVER STRESSED BY CONSTRUCTION LOADING.

STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS.

ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF PRACTICE EXCEPT WHERE VERIFIED BY THE SPECIFICATIONS AND DRAWINGS.

- AS 1720 - TIMBER STRUCTURES
- AS 3600 - CONCRETE STRUCTURES
- AS 4100 - STEEL STRUCTURES
- NCC 2022 NATIONAL CONSTRUCTION CODE OF AUSTRALIA**

REMOVE ALL VEGETATION AND TOPSOIL WITHIN THE AREA THAT THE BUILDING IS TO OCCUPY. CUT OR FILL TO LEVELS SHOWN IN THE DRAWINGS. MATERIAL TO BE USED AS FILL SHOULD BE APPROVED BY THE ENGINEER AND COMPACTED AS SPECIFIED.

PROVIDE EROSION AND SEDIMENT CONTROL STRUCTURES AND MAINTAIN IN A FUNCTIONAL CONDITION TO LOCAL AUTHORITY REQUIREMENTS.

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO THE WEATHER MUST BE FLASHED USING MATERIALS THAT COMPLY WITH AS 2904.

RETICULATE STORMWATER TO STREET CHANNEL, APPROVED EASEMENT OR OTHERWISE AS DIRECTED BY THE LOCAL AUTHORITY & DESIGNED BY THE HYDRAULIC ENGINEER. STORMWATER DRAINAGE TO COMPLY WITH AS/NZS 3500.3

BUILDER TO PROVIDE A TERMITE CONTROL MANAGEMENT SYSTEM COMPLYING WITH AS 3660.1-2000

SEWERAGE DISPOSAL SHALL BE AS DESIGNED BY THE HYDRAULIC ENGINEER.

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

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Q	31.07.23	FIRE RATED NOTE CHANGES	SB	DJ
P	06.07.23	CHECK STRUCTURAL ENGINEERS DWGS	SB	DJ
O	31.05.23	ENGINEERS PANEL WINDOW CHANGES	SB	DJ
N	11.05.23	CLIENTS MEZZANINE WINDOW CHANGES	SB	DJ
M	10.05.23	CLIENTS MEZZANINE WINDOW CHANGES	SB	DJ
L	05.05.23	PRELIM WORKING DRAWINGS	SB	DJ
K	28.03.23	CIVIL CHANGES: PFLS / AREAS	SB	DJ
J	27.02.23	PRELIM WORKING DRAWINGS	SB	DJ
I	03.02.23	MOVED REAR ROLLER DOORS T5 & T6	SB	DJ
H	02.02.23	ADDED CIVIL / LANDSCAPE PLANS	SB	DJ
G	18.01.23	ALTERED SURVEY TEXT CLIENT REQ	SB	DJ
F	18.01.23	ADD DOORS / LETTERBOX CLIENT REQ	SB	DJ
E	05.12.22	CLIENTS CHANGES SINKS	SB	DJ
D	02.12.22	CLIENTS CHANGES	SB	DJ
C	30.11.22	INSERTED SURVEY	SB	DJ
B	29.11.22	3D VIEWS ADDED	SB	DJ
A	11.10.22	SKETCH DWGS ISSUED	SB	DJ

Issue	Date	Subject	Initial	Auth
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Amendments

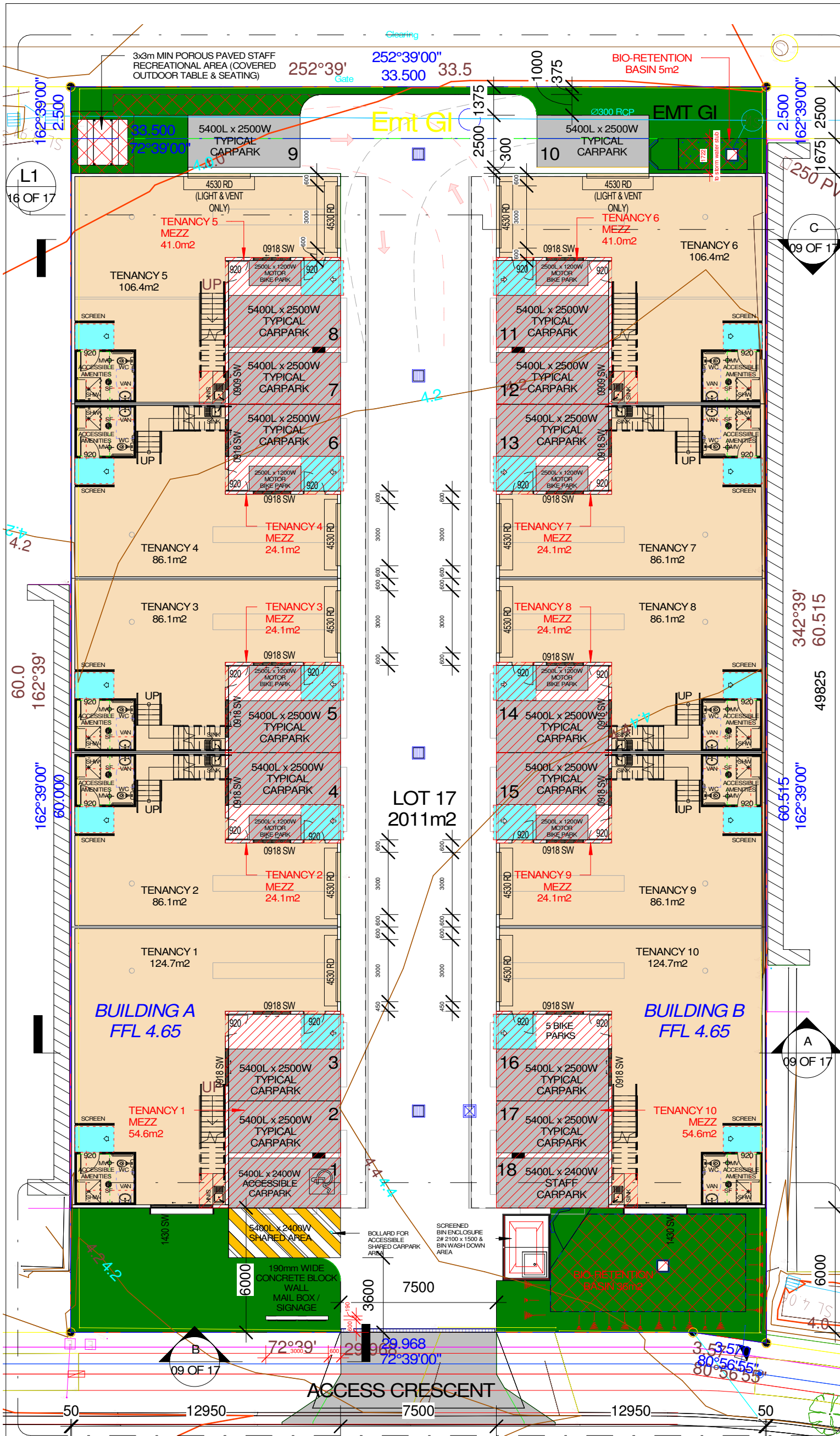
Client PRICE DEVELOPMENTS

LOT 17 ACCESS CRESCENT,
 COOLUM, QLD

Drawing Description

COVER SHEET

Drawn	SB	Checked	DJ
Scale	1 : 100	Date	11.10.22
Project No.	2022-48	Sheet No.	01 OF 17
WORKING DWGS		Issue	Q



BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

MOTORBIKE SPACES TO BE MIN OF 2.5m LONG X 1.2m WIDE TYPICAL. MOTORBIKE PARKING SPACES TO BE PROVIDED AS INDICATED ON PLANS TO COMPLY WITH AS/NZS 2890.1. 2004. FIGURE 2.7.

CARPARK FOR PERSONS WITH A DISABILITY THE CARPARK FOR PERSONS WITH A DISABILITY IS TO BE IDENTIFIED WITH THE USE OF THE INTERNATIONAL SYMBOL PAINTED SIGN ON THE PAVEMENT. ADDITIONAL DIRECTIONAL SIGNS AND/OR RESERVED SIGNS ON POSTS OR ON THE BUILDING MAY BE REQUIRED TO CLEARLY IDENTIFY THE CAR PARKING SPACE IN ACCORDANCE WITH AS1428.1 AND 2890.1

AREA	GROUND FLOOR	MEZZANINE FLOOR
TENANCY 1	124.7m ²	54.6m ²
TENANCY 2	86.1m ²	24.1m ²
TENANCY 3	86.1m ²	24.1m ²
TENANCY 4	86.1m ²	24.1m ²
TENANCY 5	106.4m ²	41.0m ²
TENANCY 6	106.4m ²	41.0m ²
TENANCY 7	86.1m ²	24.1m ²
TENANCY 8	86.1m ²	24.1m ²
TENANCY 9	86.1m ²	24.1m ²
TENANCY 10	124.7m ²	54.6m ²
TOTAL FLOOR AREA	978.8m²	335.8m²
GRAND TOTAL	1314.6m²	
TOTAL SITE COVER	64.1%	1290.4m²

LANDSCAPE REQUIRED	10.0 %	201.1m ²
LANDSCAPE PROVIDED	10.0 %	201.2m ²

CAR PARKING REQUIRED	18.1
CAR PARKING PROVIDED	18

MOTOR BIKES REQUIRED	6.5
MOTOR BIKES PROVIDED	8

BICYCLES REQUIRED	5
BICYCLES PROVIDED	5

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OP	DATE	DESCRIPTION	BY	CHKD
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Amendments				
Client PRICE DEVELOPMENTS				
LOT 17 ACCESS CRESCENT, COOLUM, QLD				
Drawing Description				
SITE PLAN				
Drawn	SB	Checked	DJ	
Scale	As indicated	Date	11.10.22	
Project No.	2022-48	Sheet No.	02 OF 17	
WORKING DWGS		Issue	Q	

SITE PLAN

SCALE: 1:200 @ A3

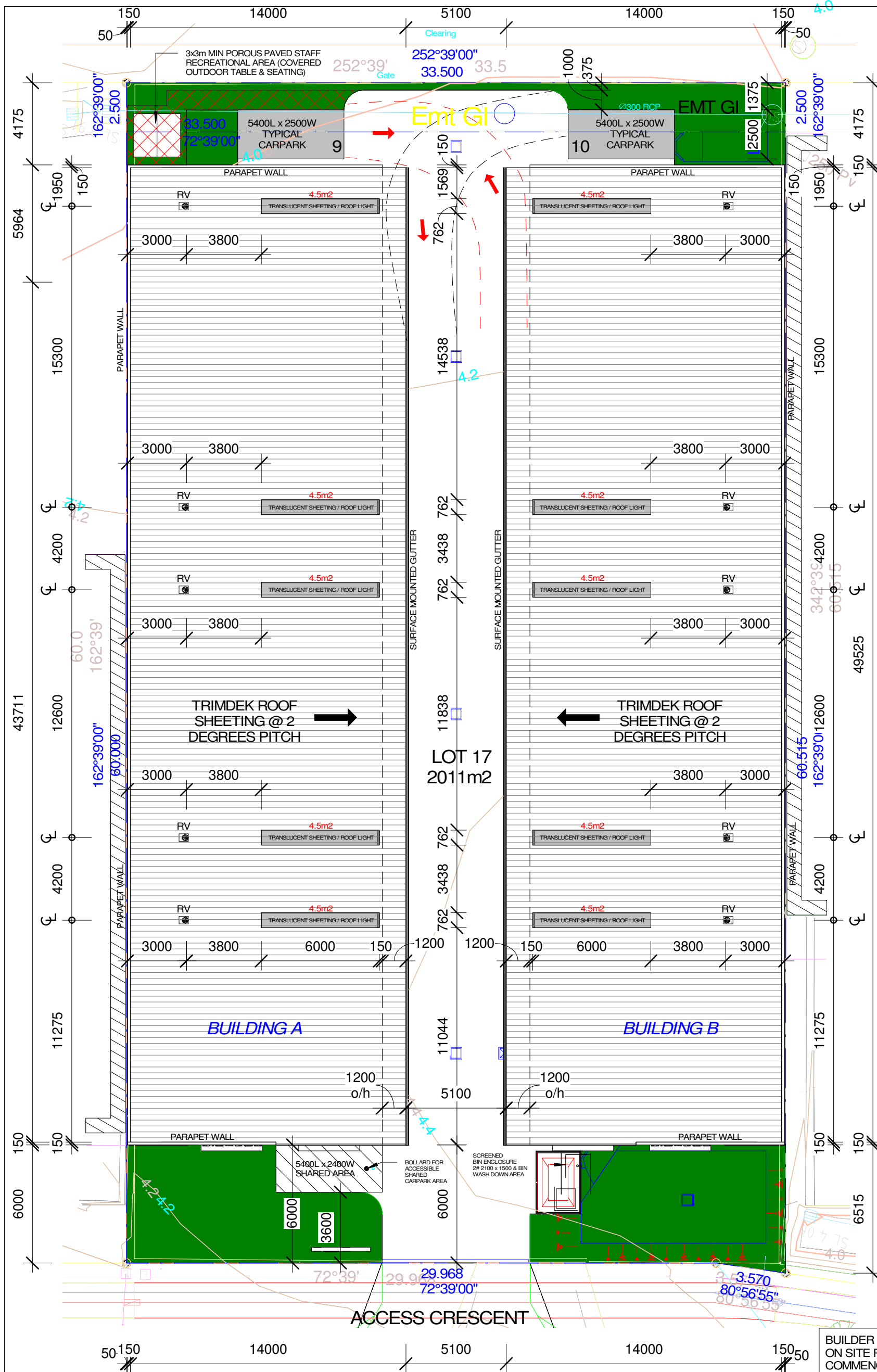
RP DETAILS

LOT : 17
REGISTERED PLAN NUMBER : SP193886
PARISH: MAROOCHY
COUNTY: CANNING
AREA : 2011m²
LOCAL AUTHORITY : SUNSHINE COAST REGIONAL COUNCIL

3x3m MIN POROUS PAVED STAFF RECREATIONAL AREA (COVERED OUTDOOR TABLE & SEATING)

AS URBAN ALUMINIUM COVERED PICNIC SETTING- WIDE (MODULAR CODE 47-MCPS2) 2200L X 2400W X 2300H





FALL PROTECTION TO NCC 2022- VOLUME ONE APPENDICES. QLD PART G.101. CERTAIN ATTACHMENTS. QLD G101.1 PREVENTION OF FALLS FROM BUILDINGS OR STRUCTURES. WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR STRUCTURE WHILE CLEANING OR MAINTENANCE WORK IS BEING CARRIED OUT- (A) A WORK SYSTEM DESIGNED TO PREVENT SUCH FALLS MUST BE USED; & (B) WHERE SAFETY ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED ON THE BUILDING OR STRUCTURE SO THAT A LIFELINE OR SAFETY HARNESS MAY BE ATTACHED BEFORE PROCEEDING TO A POINT WHERE IT IS POSSIBLE TO FALL; & (C) ANCHORAGE POINTS FOR THE ATTACHMENT OF SAFETY HARNESS MUST COMPLY WITH AS 2625.

ROOF LIGHTS

ROOF LIGHTS MUST COMPLY WITH ENERGY EFFICIENCY SECTION J, **NCC 2022 PART J4D5**

ROOF LIGHTS MUST HAVE -

- (a) TOTAL AREA OF NOT MORE THAN 5% OF FLOOR AREA OF THE ROOM OR SPACE SERVED
- (b) TRANSPARENT AND TRANSLUCENT ELEMENTS, INCLUDING AND IMPERFORATE CEILING DIFFUSER, WITH A COMBINED PERFORMANCE OF-
- (i) TOTAL SYSTEM SHGC (LESS THAN OR EQUAL TO = 0.29, IN ACCORDANCE WITH **NCC 2022 TABLE J4D5 ROOF LIGHTS**, AND
- (ii) TOTAL SYSTEM U-VALUE, NOT MORE THAN U3.9

ROOF PLAN LEGEND

TOTAL AREA OF TRANSLUCENT ROOF LIGHT = 45m² (4.56%) (MAX ALLOWABLE 5%)

TRANSLUCENT SHEETING / ROOF LIGHT

TRIMDEK PROFILE TRANSLUCENT SHEETING @ 2 DEGREES PITCH

RV ROTARY ROOF VENT

Clear or translucent roof lights that are glass fibre-reinforced polyester are permitted on the basis that the building complies with **NCC 2022 Part C2D11 (3,i) Fire Hazard Properties**

- (i) the roof in which it is installed forms part of a single the building required to be Type C construction; and
- (ii) the material is used as part of the roof covering; and
- (iii) it is not closer than 1.5m from another roof light of the same type; and
- (iv) each roof light is not more than 14m² in area; and
- (v) the area of the roof lights per 70m² of roof surface is not more than 14m².

Where roof lights do not comply with the above, they are required to satisfy the fire hazard property requirements of **NCC 2022 Specification S7C4 Wall and Ceiling Linings**

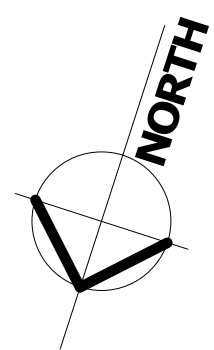
- (1) A wall or ceiling lining system must comply with the group number (1,2 or 3 material groups permitted) specified in Table S7C4 and for buildings not fitted with a sprinkler system (other than a FPA101D or FPA101H system) complying with Specification 17 have-
 - (a) a *smoke growth rate index* not more than 100; or
 - (b) an *average specific extinction area* less than 250m²/kg).
- (2) A group number of a wall or ceiling lining and the smoke growth rate index or average specific extinction area must be determined in accordance with AS 5637.1

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ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS

ROOF PLAN

SCALE: 1:200 @ A3



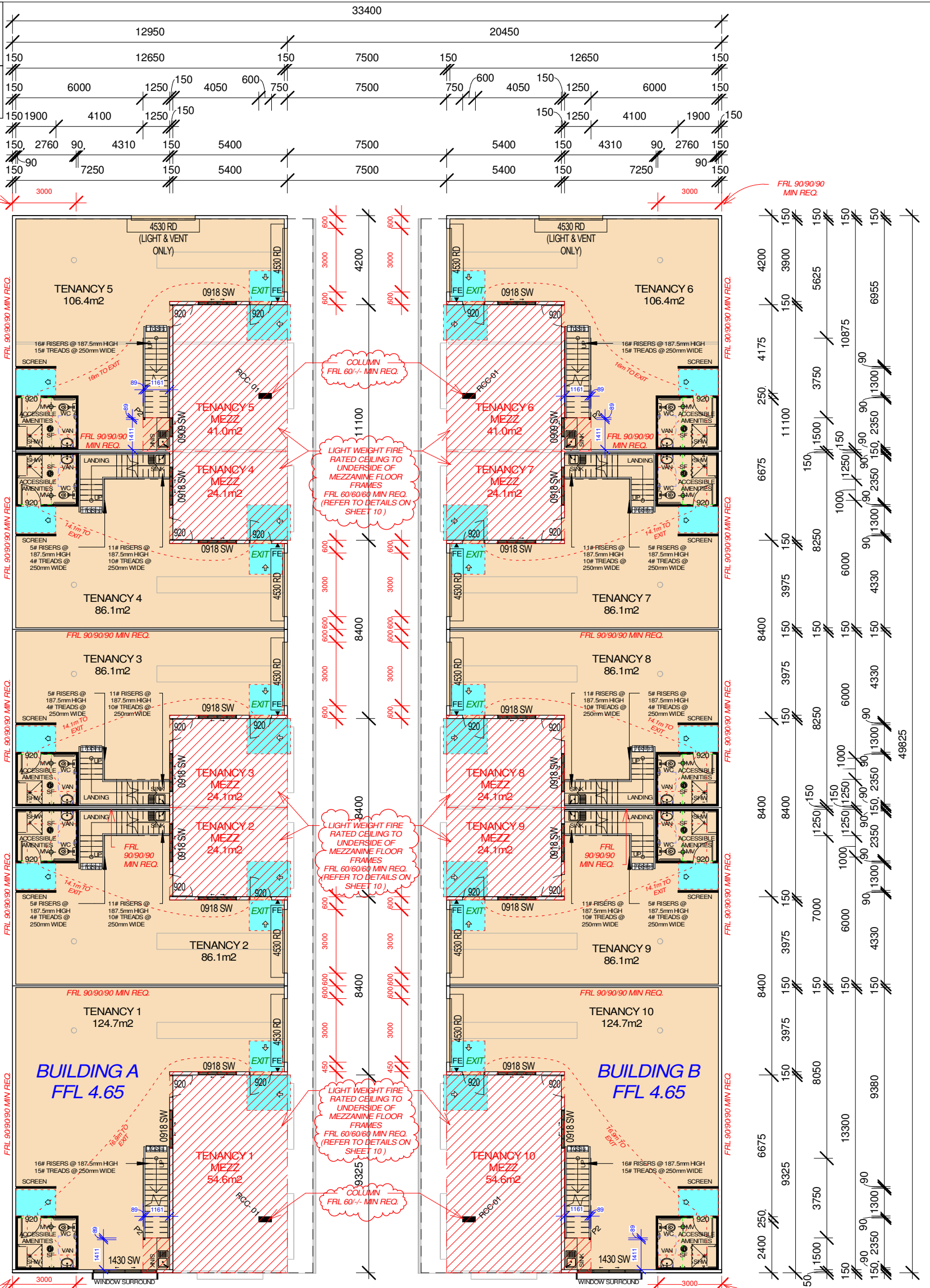
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Issue	Date	Subject	Initial	Auth
31.07.23		FIRE RATED NOTE CHANGES		SB
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03.02.23		MOVED REAR ROLLER DOORS TS & TB		SB
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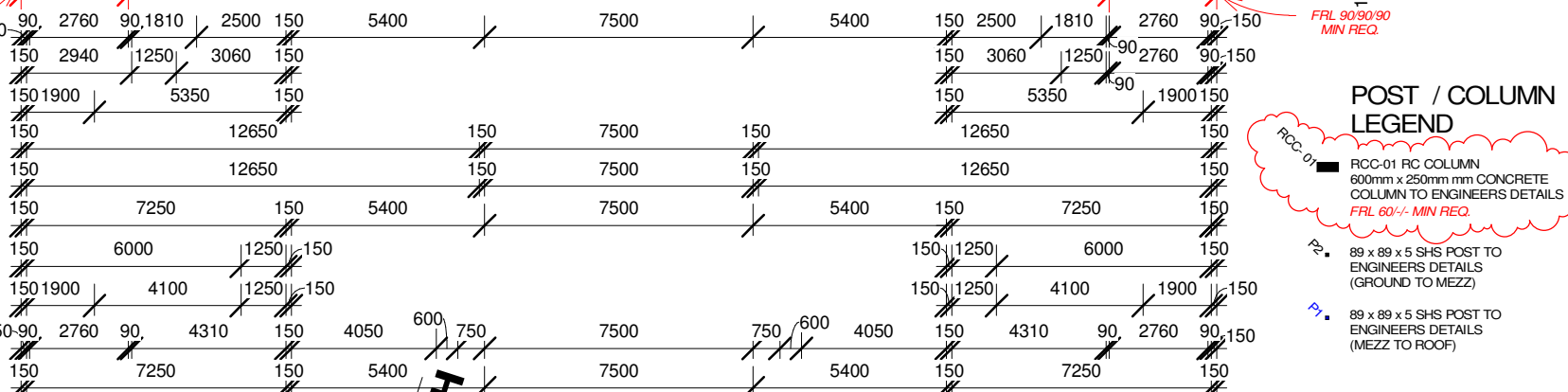
Client PRICE DEVELOPMENTS	
LOT 17 ACCESS CRESCENT, COOLUM, QLD	
Drawing Description	
ROOF PLAN	
Drawn SB	Checked DJ
Scale As indicated	Date 11.10.22
Project No. 2022-48	Sheet No. 03 OF 17
WORKING DWGS	Issue Q

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ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS



- LEGEND**
- 150mm CONCRETE TILT UP WALL TO ENGINEERS DETAILS
 - 90mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
 - LIGHT WEIGHT FIRE RATED WALLS TO ENGINEERS DETAILS & MANUFACTURERS SYSTEM SPECIFICATIONS (REFER TO DETAIL 1 & 2)
 - EMERGENCY EXITS (TENANCY UNDER 300m²): EXIT SIGN TO COMPLY WITH NCC 2022 CLAUSE E4D5 & E4D6. ALL EXIT DOORS TO COMPLY WITH NCC 2022 CLAUSE D3D24, D3D25 & D3D26.
 - STANLITE SF10 NON-MAINTAINED (10W HALOGEN FIXED FLUSH WITH CEILING) TO AS/NZS 2293.1.
 - MECHANICALLY VENTILATED TO AS 1668.2 1991, MIN 25LS EXHAUST FLOW RATE.
 - EXTINGUISHER TYPE: 3A:40B:(E) ENSURE FIRE EXTINGUISHERS ARE WITHIN 4m OF 'EXIT' DOOR. EXTINGUISHER LOCATION SIGN ABOVE IN ACCORDANCE WITH AS 2444-1995
 - INSTANTANEOUS HWS IN VERMIN PROOF CABINET UNDER SINK (TYP.)
 - TACTILE GROUND SURFACE INDICATORS TO BE INSTALLED AS SPECIFIED TO COMPLY WITH NCC 2022 PART D4D9 TACTILE INDICATORS AND COMPLY WITH AS/NZS 1428.4.1 SECTIONS 1 & 2.
 - ACCESSIBLE PATH OF TRAVEL CIRCULATION SPACES AT DOORWAYS TO COMPLY WITH AS 1428.4.1 PART 13.3 FIGURE 31. REFER TO DOOR CIRCULATION SHEET (BUILDER TO NOTE*** BLUE HATCHED AREA TO REMAIN CLEAR OF ANY STRUCTURES OR FITTINGS)



GROUND FLOOR PLAN
SCALE: 1:200 @ A3

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31.07.23	08.07.23	FIRE RATED NOTE CHANGES		SB
31.07.23	08.07.23	CHECK STRUCTURAL DWGS		SB
11.08.23	11.08.23	ENGINEERS PANEL / WINDOW CHANGES		SB
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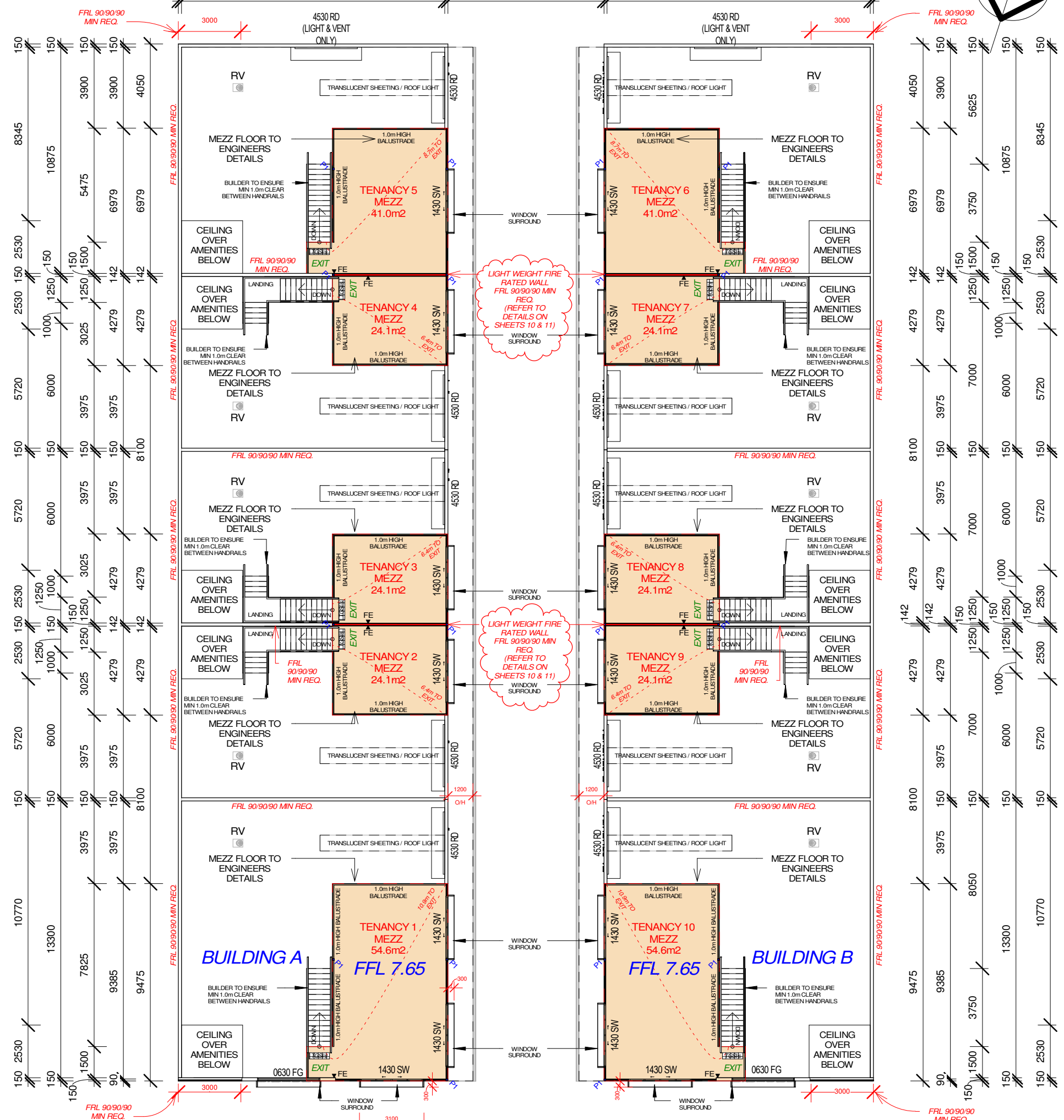
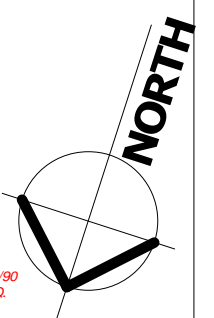
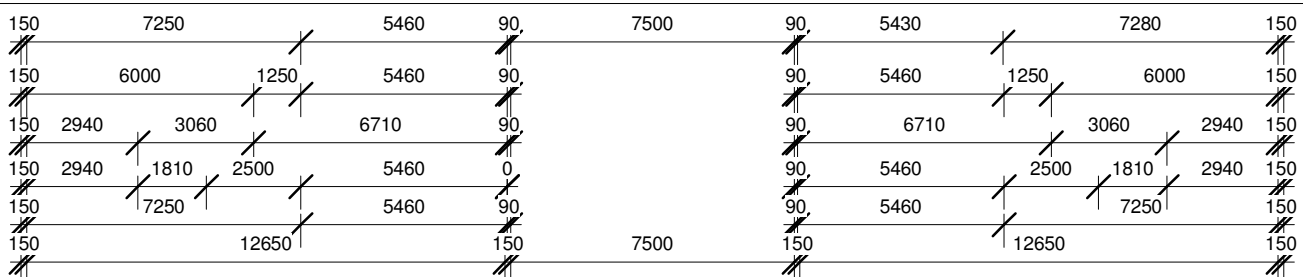
POST / COLUMN LEGEND

- RCC-01 RCC COLUMN 600mm x 250mm mm CONCRETE COLUMN TO ENGINEERS DETAILS (FRL 60/- MIN REQ.)
- 89 x 89 x 5 SHS POST TO ENGINEERS DETAILS (GROUND TO MEZZ)
- 89 x 89 x 5 SHS POST TO ENGINEERS DETAILS (MEZZ TO ROOF)

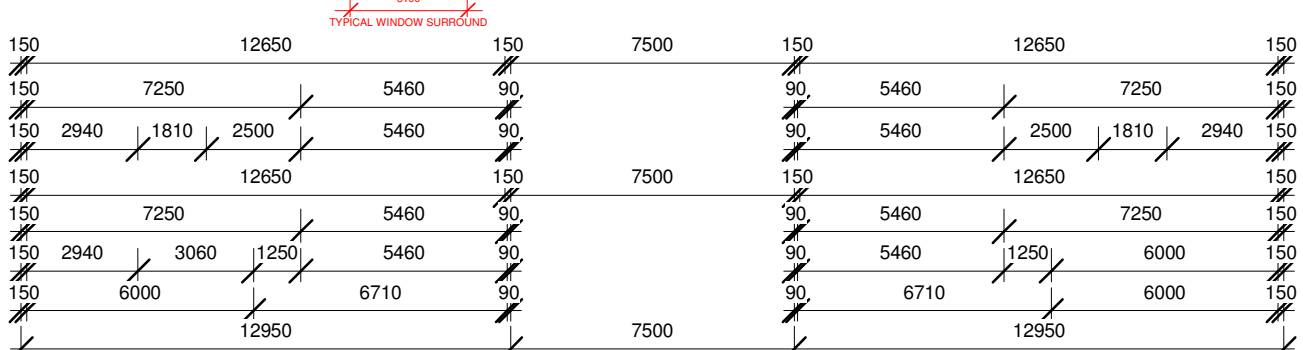
Client	PRICE DEVELOPMENTS
LOT 17 ACCESS CRESCENT, COOLUM, QLD	
Drawing Description	GROUND FLOOR PLAN
Drawn SB	Checked DJ
Scale As indicated	Date 11.10.22
Project No. 2022-48	Sheet No. 05 OF 17
WORKING DWGS	Issue Q

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS



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UPPER FLOOR PLAN

SCALE: 1:200 @ A3

ENGINEERS TO NOTE

300mm FLOOR ALLOWED FOR MEZZANINES

ENGINEERS TO NOTE CLIENT HAS REQUESTED MEZZANINE TO BE STEEL & TIMBER FLOOR FRAME

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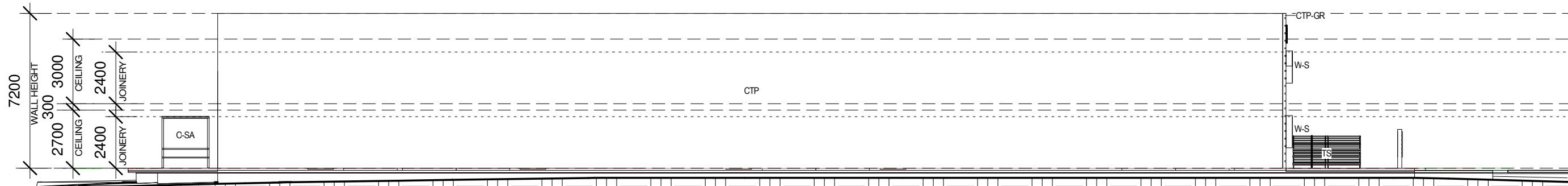
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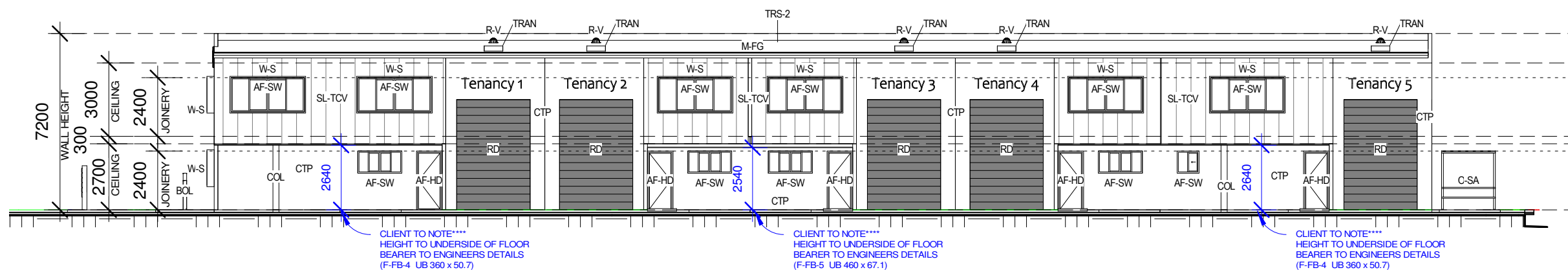
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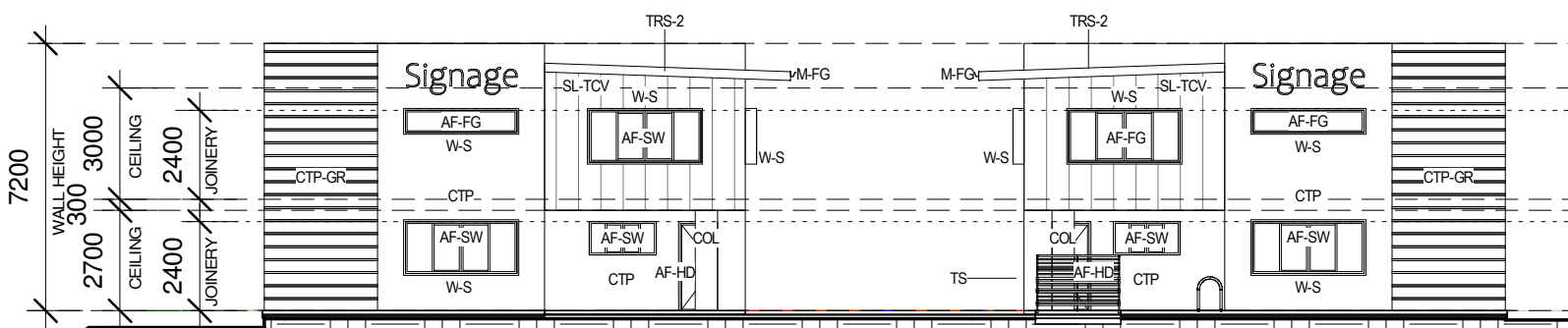
Client	PRICE DEVELOPMENTS
Address	LOT 17 ACCESS CRESCENT, COOLUM, QLD
Drawing Description	UPPER FLOOR PLAN
Drawn	SB
Checked	DJ
Scale	As indicated
Date	11.10.22
Project No.	2022-48
Sheet No.	06 OF 17
WORKING DWGS	Issue Q



**1 EASTERN ELEVATION
BUILDING A**
1 : 200



**2 WESTERN ELEVATION
BUILDING A**
1 : 200



**3 NORTHERN ELEVATION
BUILDING A & B**
1 : 200

LEGEND	
AF-FG	ALUMINIUM FRAMED FIXED GLASS
AF-HD	ALUMINIUM FRAMED HINGED DOORS
AF-SW	ALUMINIUM FRAMED SLIDING WINDOW
BOL	BOLLARD
COL	COLUMN TO ENGINEERS DETAILS
CTP	CONCRETE TILT PANEL TO ENG. DETAILS
CTP-GR	CONCRETE TILT UP PANEL WITH 20mm "V" GROOVES TO ENG. DETAILS
M-FG	METAL FASCIA AND GUTTER
O-SA	OUTDOOR STAFF AREA
R-V	ROOF VENT TO ENGINEERS DETAILS
RD	ROLLER DOOR
SL-TCV	SELECT LIGHT WEIGHT TIMBER CLADDING (VERTICAL)
TRAN	TRANSLUCENT SHEETING / ROOF LIGHT
TRS-2	TRIMDEK ROOF SHEETING @ 2 DEGREES PITCH
TS	TIMBER SCREEN
W-S	FEATURE WINDOW BOX SURROUND



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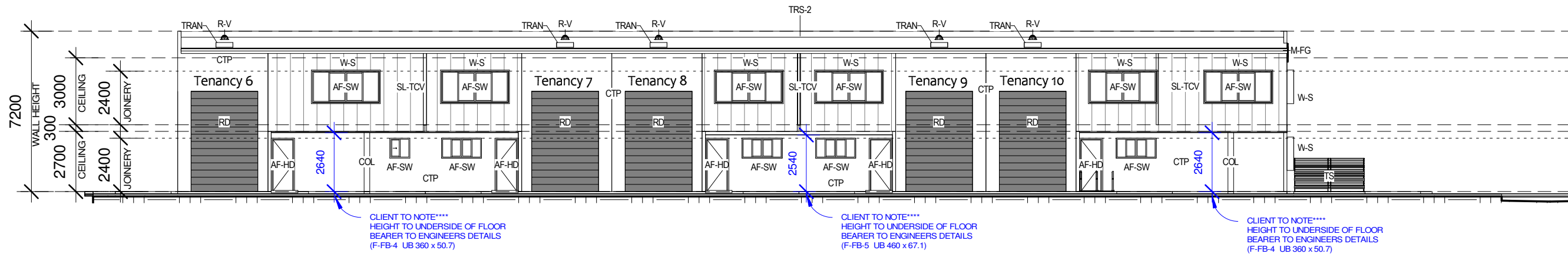
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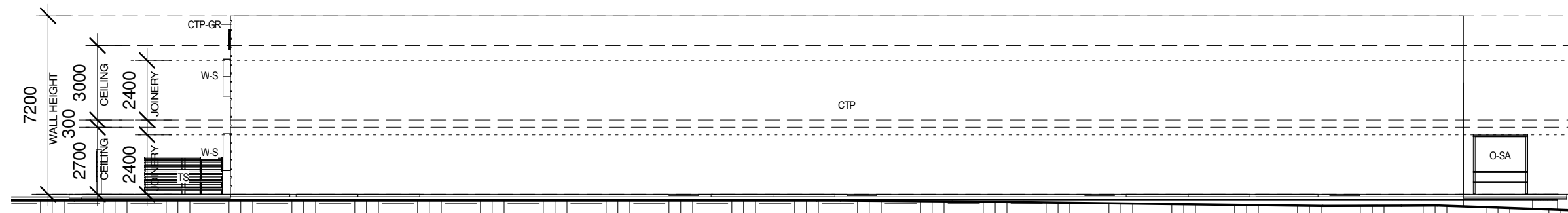
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2	31.05.23	ENGINEERS PANEL / WINDOW CHANGES	SB	DJ
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4	10.05.23	CLIENTS MEZZANINE WINDOW CHANGES	SB	DJ
5	09.05.23	PRELIM WORKING DRAWINGS	SB	DJ
6	09.05.23	CIVIL CHANGES / AREAS	SB	DJ
7	27.02.23	PRELIM WORKING DRAWINGS	SB	DJ
8	03.02.23	MOVED REAR ROLLER DOORS TS & TB	SB	DJ
9	02.02.23	ADDED CIVIL / LANDSCAPE PLAN	SB	DJ
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11	18.01.23	ADD DOORS / LETTERBOX CLIENT REQ	SB	DJ
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16	11.10.22	SKETCH DWGS ISSUED	SB	DJ

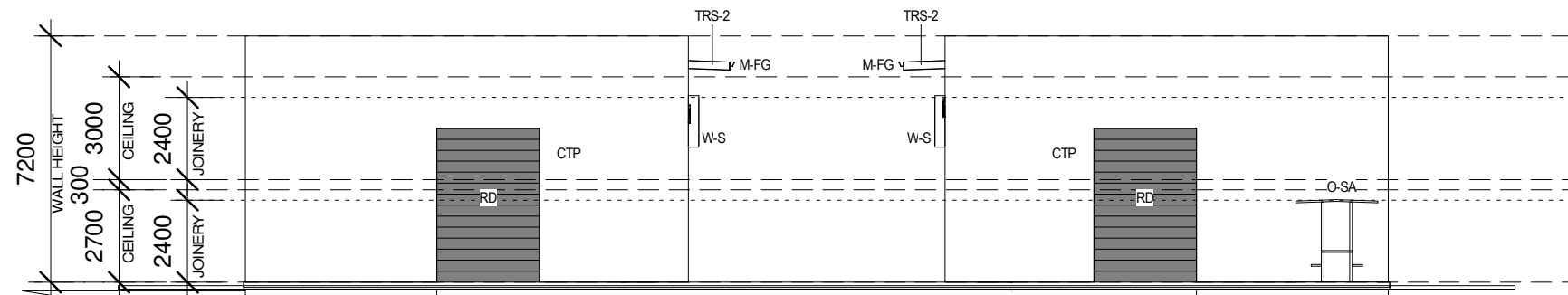
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Drawing Description	ELEVATIONS BUILDING A
Drawn	SB
Checked	DJ
Scale	As indicated
Date	11.10.22
Project No.	2022-48
Sheet No.	07 OF 17
Issue	Q



1 EASTERN ELEVATION
BUILDING B
1 : 200



2 WESTERN ELEVATION
BUILDING B
1 : 200



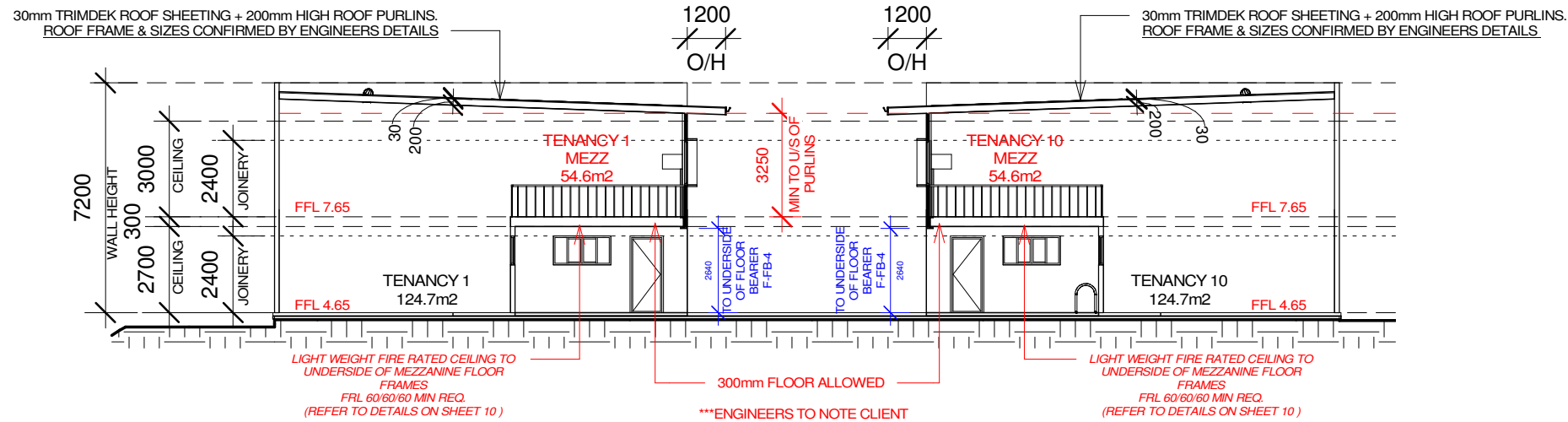
3 SOUTHERN ELEVATION
BUILDING A & B
1 : 200

LEGEND	
AF-HD	ALUMINIUM FRAMED HINGED DOORS
AF-SW	ALUMINIUM FRAMED SLIDING WINDOW
COL	COLUMN TO ENGINEERS DETAILS
CTP	CONCRETE TILT PANEL TO ENG. DETAILS
CTP-GR	CONCRETE TILT UP PANEL WITH 20mm "V" GROOVES TO ENG. DETAILS
M-FG	METAL FASCIA AND GUTTER
O-SA	OUTDOOR STAFF AREA
R-V	ROOF VENT TO ENGINEERS DETAILS
RD	ROLLER DOOR
SL-TCV	SELECT LIGHT WEIGHT TIMBER CLADDING (VERTICAL)
TRAN	TRANSLUCENT SHEETING / ROOF LIGHT
TRS-2	TRIMDEK ROOF SHEETING @ 2 DEGREES PITCH
TS	TIMBER SCREEN
W-S	FEATURE WINDOW BOX SURROUND

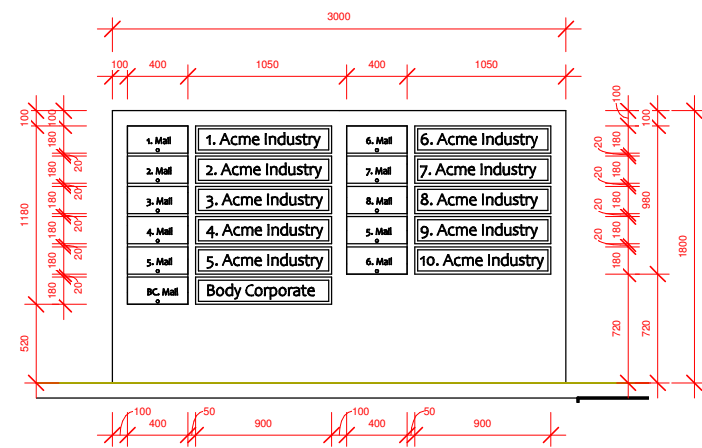

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Client	PRICE DEVELOPMENTS
LOT 17 ACCESS CRESCENT, COOLUM, QLD	
Drawing Description ELEVATIONS BUILDING B	
Drawn	SB
Checked	DJ
Scale	As indicated
Date	11.10.22
Project No.	2022-48
Sheet No.	08 OF 17
WORKING DWGS	Issue Q

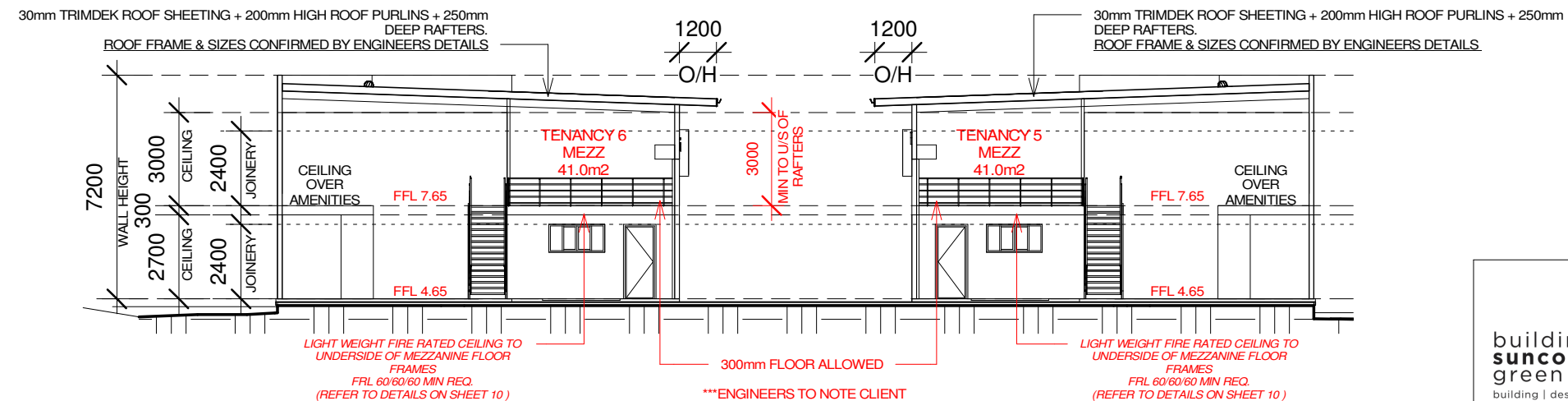


A SECTION A
1 : 200



B SECTION B
1 : 50

190mm WIDE CONCRETE BLOCK WALL
MAILBOX / SIGNAGE



C SECTION C
1 : 200

FLOOR PLAN NOTES

ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA REQUIREMENTS (NCC 2022) & RELEVANT AUSTRALIAN STANDARDS.

CONTRACTOR TO CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK INCLUDING BOUNDARY LINES & PEGS.

CONTRACTOR ALSO TO CONFIRM PRESENCE OF ANY EXISTING SERVICES BEFORE COMMENCING WORKS.

DIMENSIONS TAKE PREFERENCE OVER SCALE. DO NOT SCALE OFF DRAWING.

REFER TO CONSULTING ENGINEERS DRAWINGS FOR ALL CIVIL, STRUCTURAL DETAILS & HYDRAULIC ENGINEERS DRAWINGS FOR ALL HYDRAULIC DETAILS.

SHOULD SITE CONDITIONS DIFFER FROM THOSE INDICATED SEEK INSTRUCTIONS FROM DESIGNER.

REFER FLOOR PLAN FOR POSITIONS OF PORTABLE FIRE EXTINGUISHERS & FIXED EMERGENCY LIGHTING

PORTABLE FIRE EXTINGUISHERS TO BE IN ACCORDANCE WITH NCC 2022 E1D14 PORTABLE FIRE EXTINGUISHERS. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED DEPENDING ON TENANCY LAYOUT & ASSOCIATED BUSINESS USES. REFER TO NCC 2022 E1D14 AND MUST BE SELECTED, LOCATED & DISTRIBUTED IN ACCORDANCE WITH AS 2444, SECTIONS 1, 2 & 3.

FIRE EXTINGUISHER IDENTIFICATION SIGN
THE EXTINGUISHER AND FIRE POINT LOCATION SIGNS SHALL HAVE A SYMBOL, BORDER AND LETTERS IN WHITE ON A RED FIELD EQUIVALENT TO 13 SIGNAL RED OF AS 2700 (REFER AS 2444- FIGURE 3.1)
A SIGN SHALL BE PROVIDED ABOVE OR ADJACENT TO AN EXTINGUISHER. SIGNS SHALL BE POSITIONED & MOUNTED NOT LESS THAN 2.0m ABOVE FFL OR AT A HEIGHT THAT MAKES THEM CLEARLY VISIBLE TO A PERSON OF AVERAGE HEIGHT AND VISUAL ACUITY APPROACHING THE EXTINGUISHER LOCATION.

MECHANICAL VENTILATION TO AS. 1668 PARTS 1 & 2 & AS/NZS 3666.1 AS INDICATED. MIN 25 l/s EXHAUST FLOW RATE TO ALL WC'S.

PHYSICAL TERMITE BARRIER SYSTEM TO BE USED IN ACCORDANCE WITH AS. 3660.1. ALL TIMBER TREATED H2/H3 AGAINST TERMITES.

LIGHTING TO AS/NZS 1680.0 & NCC 2022 PART J7 ARTIFICIAL LIGHTING AND POWER

EXIT SIGNS
AN EXIT SIGN MUST BE INSTALLED ON, ABOVE OR ADJACENT TO EACH DOOR SERVING AS, OR FORMING PART OF A REQUIRED EXIT IN A STOREY OR NON-FIRE ISOLATED EXIT STAIR. ALL REQUIRED EXIT SIGNS & DIRECTIONAL EXITS SIGNS MUST COMPLY WITH AS 2291.1, LOCATED TO BE CLEARLY VISIBLE TO PERSONS APPROACHING THE EXIT & MAINTAINED TO BE CLEARLY VISIBLE AT ALL TIMES THE BUILDING IS OCCUPIED.

ALL EXIT DOORS & HARDWARE TO COMPLY WITH NCC 2022 CLAUSES, D3D24 DOORWAYS AND DOORS, D3D25 SWINGING DOORS & D3D26 OPERATION OF LATCH.
SIGNS ON DOORS TO COMPLY WITH NCC 2022 D3D28 SIGNS ON DOORS

TIMBER/STEEL STUD PARTITIONING TO TOILETS. REFER TO ELEVATIONS OR SECTIONS FOR CEILING HEIGHTS FOR AMENITIES.
AMENITIES WALLS AND CEILINGS TO BE LINED WITH WATER PROOF PLASTERBOARD. WATERPROOF WET AREAS TO AS 3740.
WATERPROOFING TO WET AREAS TO COMPLY WITH NCC 2022 CLAUSE F2P2 WET AREAS.

UNISEX ACCESSIBLE FACILITIES TO AS 1428.1, 2009

PROVIDE ROOF SAFETY MESH TO AS/NZS 4389 (1996)

ROOF INSULATION R2.5 "ANTICON" FOIL BACKED FIBRE GLASS INSULATION

PROVIDE NON-COMBUSTIBLE MINERAL FIBRE INSULATION UNDERNEATH ROOF SHEETING TO SEAL ALL FIRE WALLS. (CSR BRADFORD FIRE SEAL OR EQUIVALENT)

FIRE HYDRANTS INSTALLED TO ENGINEERS DETAIL.
REFER TO HYDRAULICS ENGINEERS DRAWINGS FOR POSITION OF FIRE HYDRANTS.

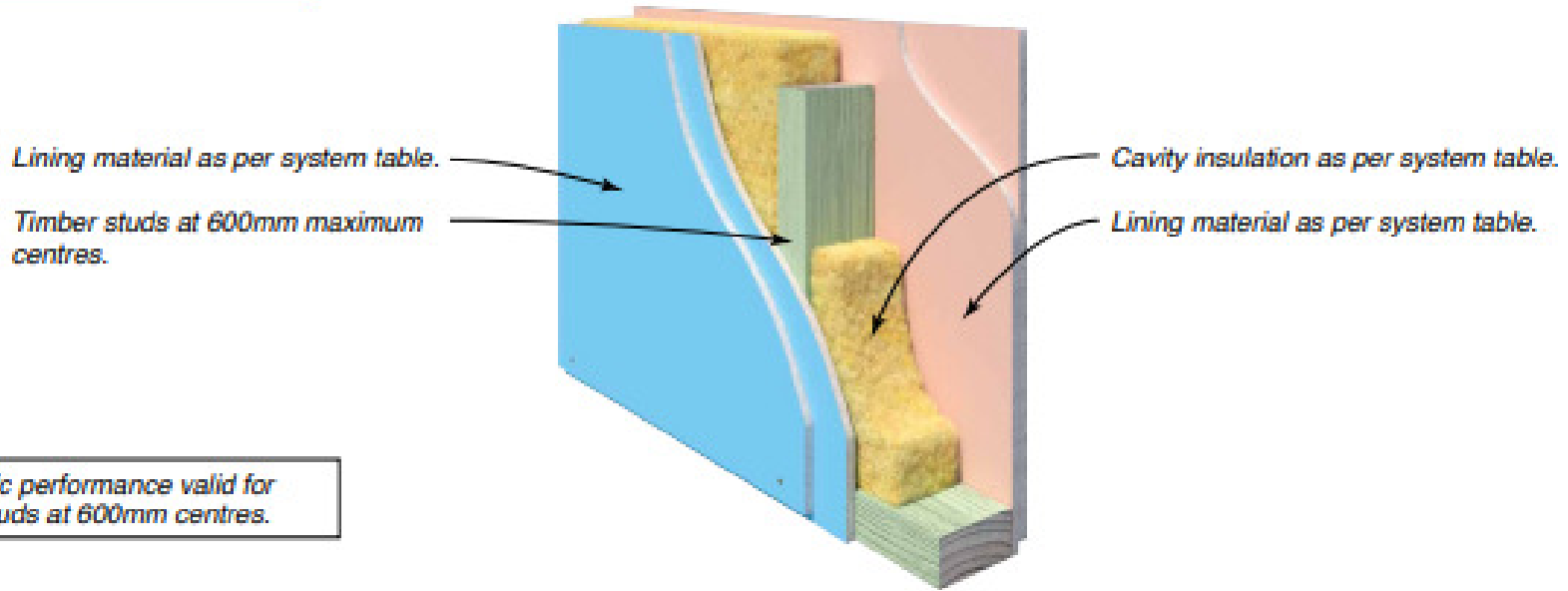
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H	03.10.23	PRELIM WORKING DRAWINGS - 15 & T6	SB	DJ
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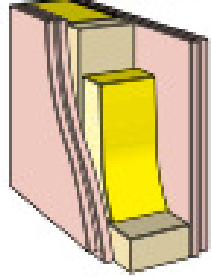
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SECTIONS	
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Scale	As indicated
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Project No.	2022-48
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WORKING DWGS	
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SYSTEM SPECIFICATIONS

Timber Frame Internal Wall Systems – Single Stud



NOTE: Acoustic performance valid for 35mm width studs at 600mm centres.

SYSTEM OPTIONS Refer to Book 2 Residential Installation Guide			ACOUSTIC OPINION: PKA Predictor V16				
FRL Report/Opinion	SYSTEM N°	WALL LININGS	STUD DEPTH mm	70	90	120	140
			CAVITY INFILL (Refer to TABLE B6)	R _w / R _w +C _{tr}			
- /120/120 90/90/90 FAR 2303	CSR 2090 	BOTH SIDES • 2 x 13mm Gyprock Fyrychek Plasterboard.	(a) Nil	41/35	43/37	44/38	45/39
			(b) 75 Gold Batts 1.5	46/38	48/40	49/41	50/42
			(c) 70 Soundscreen 2.0	47/39	49/41	50/42	50/42
			(d) MSB3 Polyester	44/37	46/39	47/40	47/40
			Wall Thickness mm	122	142	172	192

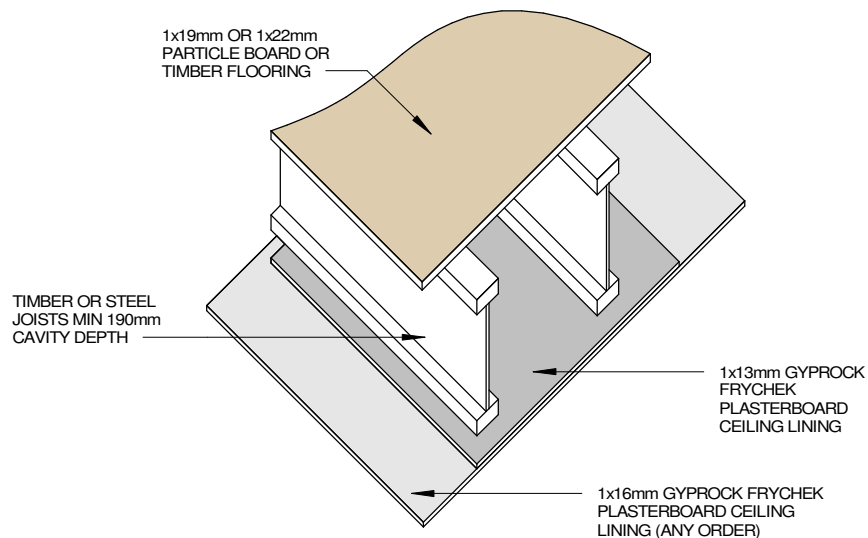
NOTE* IMPORTANT**
 REFER TO CSR RED BOOK SPECIFICATIONS FOR RELEVANT DETAILS OR ALTERNATIVE METHODS, IF ANY PLUMBING PIPES, ELECTRICAL SERVICES OR LIGHTING IS REQUIRED TO PENETRATE THE FIRE RATED CEILING LINING OR WALL LINING SYSTEMS .

LIGHT WEIGHT FIRE RATED WALL METHOD (FRL 90/90/90)

THIS SYSTEM IS TO BE APPLIED TO THE WALL BETWEEN MEZZANINE UNITS: 2 & 3 , 4 & 5 , 6 & 7, 8 & 9 (AS NOTED ON UPPER FLOOR PLAN)

CSR 6132 FIRE RATED FLOOR / CEILING SYSTEM

- MIN FIRE RATING PROVIDED 60/60/60
- 1x19mm OR 1x22mm PARTICLE BOARD OF TIMBER FLOORING (AT LEAST 15kg/m²)
- TIMBER OR STEEL JOISTS MIN 190mm CAVITY DEPTH & @ 450 MAX C/C.
- CEILING 1x13mm GYPROCK FRYCHEK PLASTERBOARD
- & 1x16mm GYPROCK FRYCHEK PLASTERBOARD (CEILING LINING DIRECT FIXED TO FLOOR FRAMING)



FIRE RATED CEILING / FLOOR FRAME METHOD (FRL 60/60/60)
RESISTANCE TO INCIPIENT SPREAD OF FIRE (RISF= 60 MINUTES)

STEEL PORTAL FRAME DETAILS – FIRE RATED

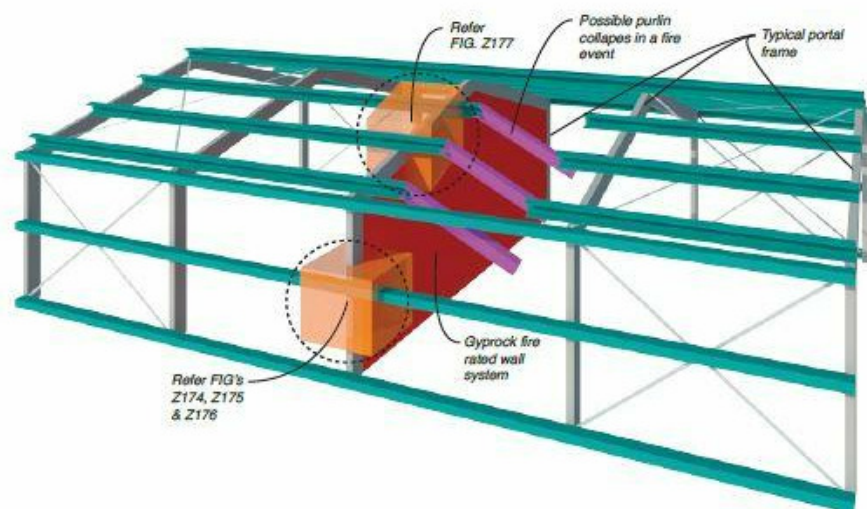
Appraisal FAR 4376.

The following fire rated junction details have been developed to accommodate the range of movement expected from typical portal frame construction. They can be used with CSR Gyprock steel framed wall systems with fire ratings up to FRL 120/120/120, and may require additional input from structural and fire engineers. Wall systems should be selected with a structural adequacy component as the steel members are considered to be load bearing.

No solutions are given for structural beams or bracing members that penetrate the fire rated system. A fire engineer is required to provide solutions with consideration of movement, heat transfer along members, and the effect of collapse of any elements.

Figure FIG Z173 shows typical locations for Gyprock fire rated portal details.

FIG Z173: TYPICAL PORTAL FRAME USAGE



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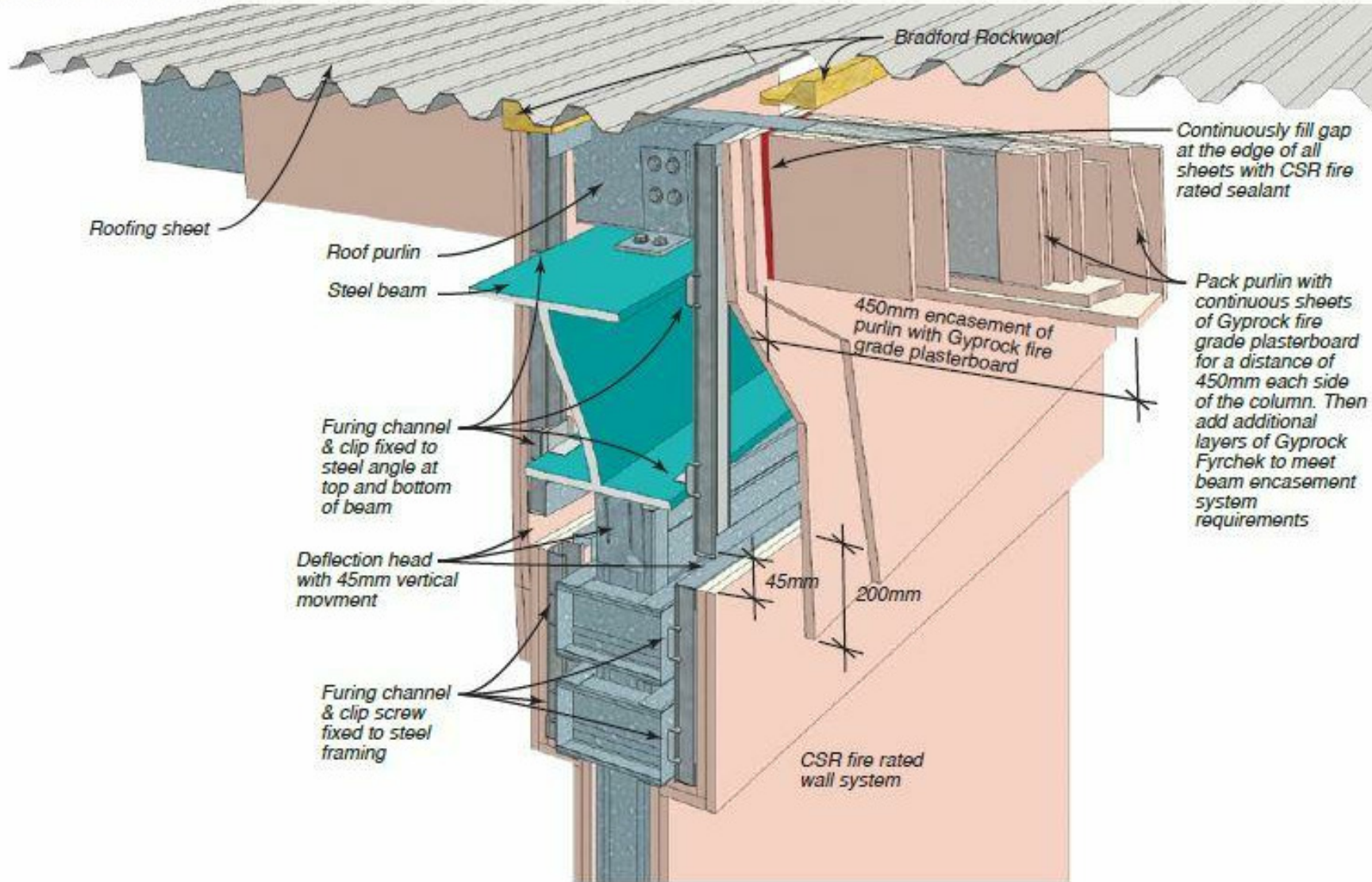
Client PRICE DEVELOPMENTS
 LOT 17 ACCESS CRESCENT,
 COOLUM, QLD

Drawing Description
FIRE RATED DETAILS 1

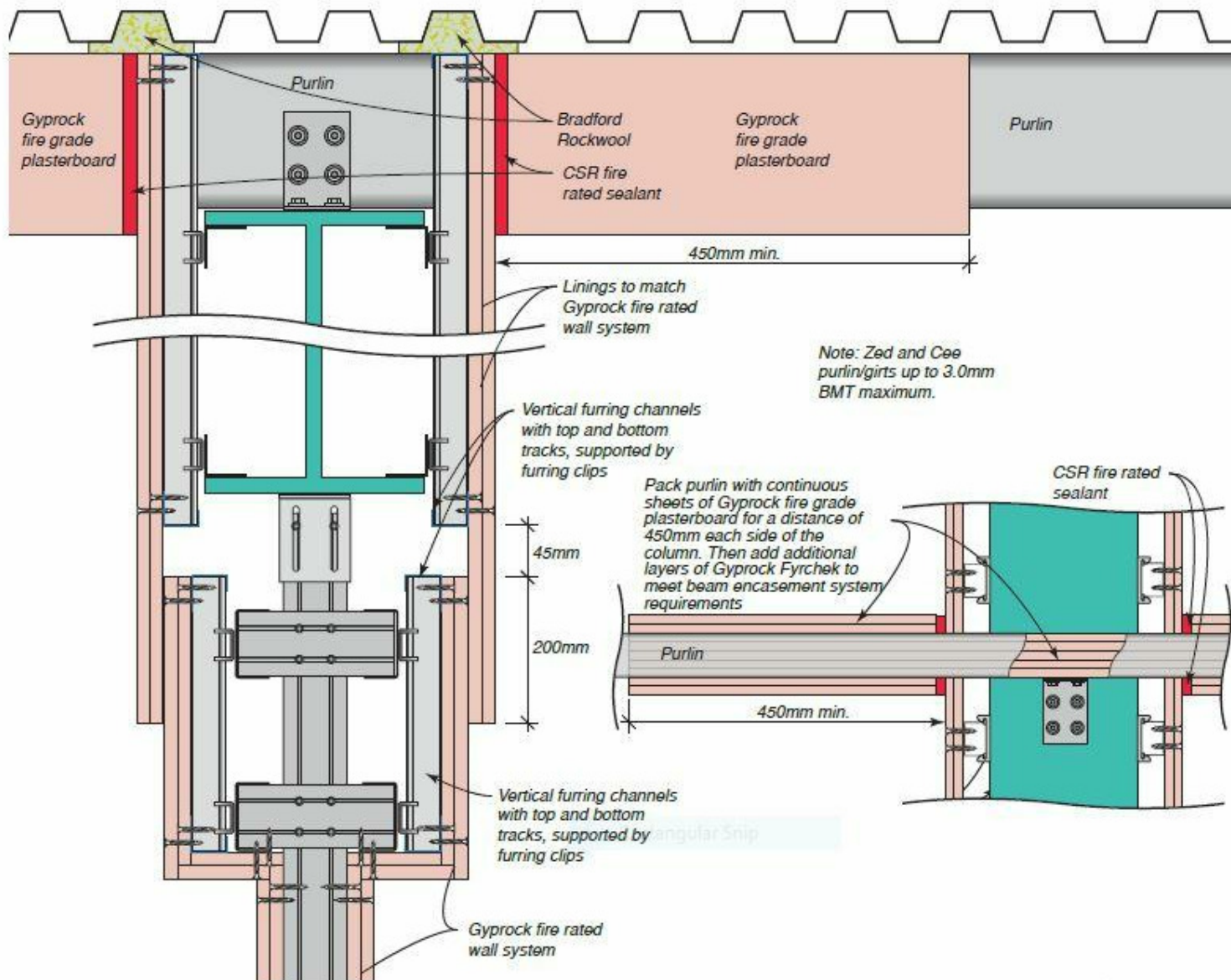
Drawn SB Checked DJ
 Scale As indicated Date 11.10.22
 Project No. 2022-48 Sheet No. 10 OF 17
 WORKING DWGS Issue Q

FIG Z177: PORTAL FRAME BEAM – FIRE RATED


Up to FRL 120/120/120.



THIS SYSTEM IS TO BE APPLIED TO THE WALL BETWEEN MEZZANINE UNITS: 2 & 3 , 4 & 5 , 6 & 7, 8 & 9 THAT EXTENDS UP TO UNDERSIDE OF ROOF SHEET / ROOF FRAME



NOTE* IMPORTANT**
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 building design town planning 6 Lorraine Avenue Marcoola Beach, QLD, 4573 07 5448 8500 www.buildingsuncoastgreen.com.au QBCC Licence No. 65942	Client PRICE DEVELOPMENTS LOT 17 ACCESS CRESCENT, COOLUM, QLD																																																																																										
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1. DETAIL PLAN

ACCESSIBLE WC. REFER TO AS1428.1 PART 15 SANITARY FACILITIES.

BUILDER TO NOTE: ENSURE WATERPROOFING IS ACHIEVED (GREY HATCH) WATERPROOF WALLS MIN 1800 HIGH & 1500mm FROM SHOWER ROSE PENETRATION

1500mm MIN WATERPROOFED AREA REQUIRED

1500mm MIN WATERPROOFED AREA REQUIRED

1500mm MIN WATERPROOFED AREA REQUIRED

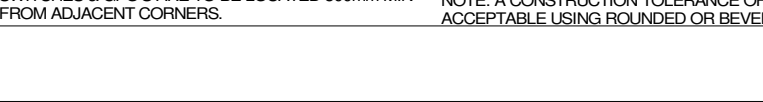
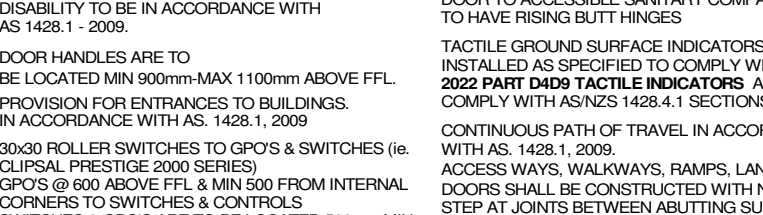
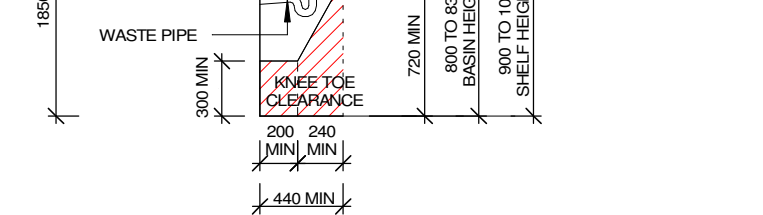
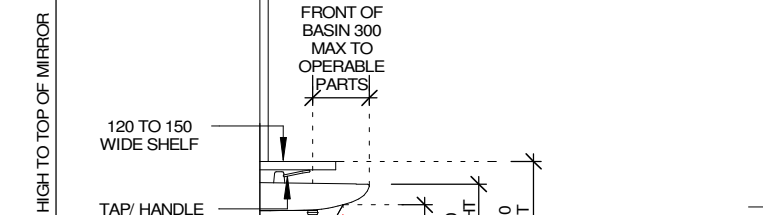
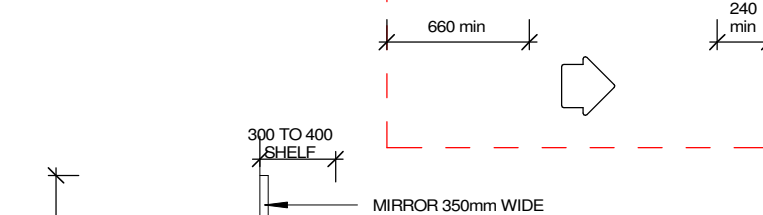
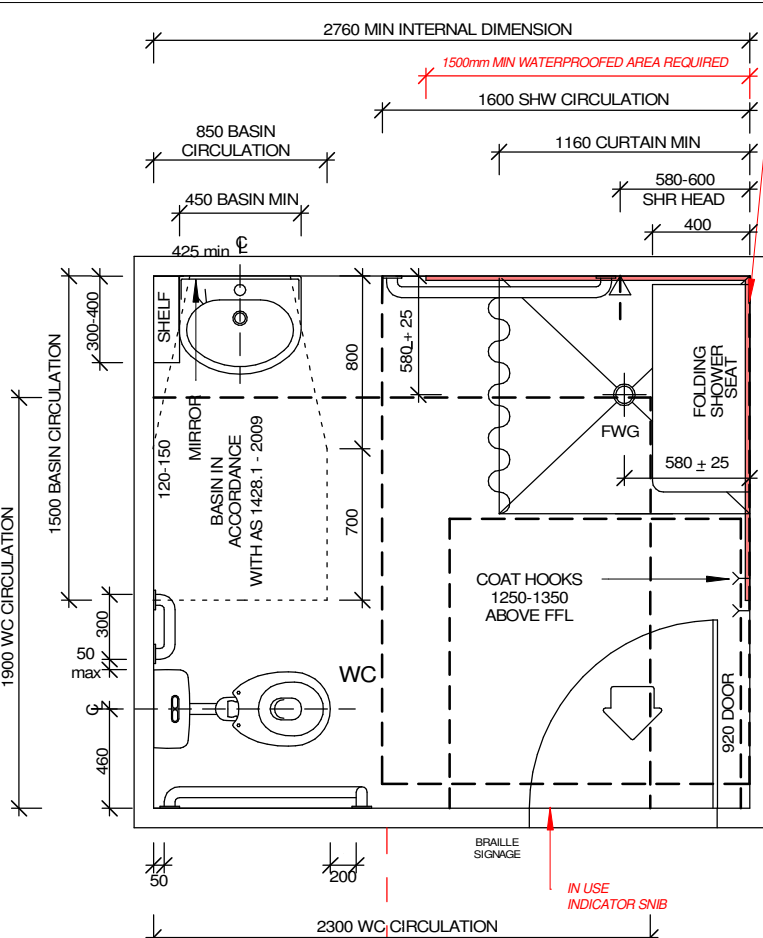
1500mm MIN WATERPROOFED AREA REQUIRED

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2. FRONT ELEVATION
ACCESSIBLE WC GRABRAIL POSITIONS

3. SIDE ELEVATION
ACCESSIBLE WC GRABRAIL POSITIONS

4. ELEVATION
ACCESSIBLE WC SHOWER FITTINGS

5. SIDE ELEVATION
ACCESSIBLE WC WALL MOUNTED WASH BASIN POSITION

6. DETAIL PLAN
KERB & STEP RAMPS

7. DETAIL SECTION
KERB & STEP RAMPS

8. DETAIL SECTION
STAIR & HANDRAIL

ACCESSIBLE NOTES

ALL CONSTRUCTION RELATING TO ACCESS AND MOBILITY FOR PERSONS WITH

DISABILITY TO BE IN ACCORDANCE WITH AS 1428.1 - 2009.

DOOR HANDLES ARE TO BE LOCATED MIN 900mm-MAX 1100mm ABOVE FFL. PROVISION FOR ENTRANCES TO BUILDINGS. IN ACCORDANCE WITH AS. 1428.1, 2009

30x30 ROLLER SWITCHES TO GPO'S & SWITCHES (ie. CLIPSAI PRESTIGE 2000 SERIES) GPO'S @ 600 ABOVE FFL & MIN 500 FROM INTERNAL CORNERS TO SWITCHES & CONTROLS SWITCHES & GPO'S ARE TO BE LOCATED 500mm MIN FROM ADJACENT CORNERS.

THRESHOLD RAMPS ARE TO HAVE A MAX GRADIENT OF 1:8 OVER 450mm. THE RAMP & SLOPING SIDE ARE TO BE SLIP RESISTANT & OF A CONTRASTING COLOUR TO THE ADJOINING SURFACES.

DOOR TO ACCESSIBLE SANITARY COMPARTMENT TO HAVE RISING BUTT HINGES

TACTILE GROUND SURFACE INDICATORS TO BE INSTALLED AS SPECIFIED TO COMPLY WITH **NCC 2022 PART D4D9 TACTILE INDICATORS** AND COMPLY WITH AS/NZS 1428.4.1 SECTIONS 1 & 2.

CONTINUOUS PATH OF TRAVEL IN ACCORDANCE WITH AS. 1428.1, 2009.

ACCESS WAYS, WALKWAYS, RAMPS, LANDINGS & DOORS SHALL BE CONSTRUCTED WITH NO LIP OR STEP AT JOINTS BETWEEN ABUTTING SURFACES. NOTE: A CONSTRUCTION TOLERANCE OF 5mm IS ACCEPTABLE USING ROUNDED OR BEVELED EDGES.

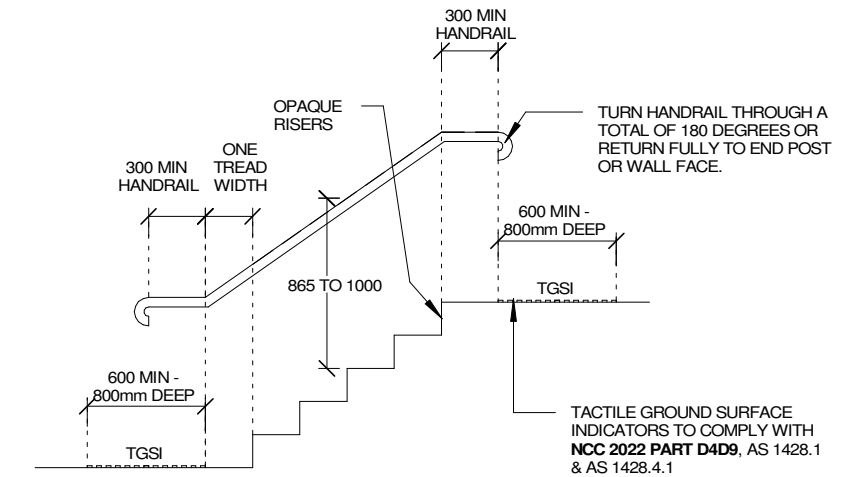
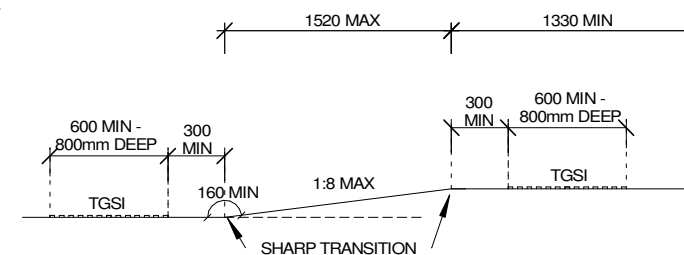
NCC 2022 PART D4D13 GLAZING ON AN ACCESSWAY AND AS 1428.1- 2009, SECTION 6.6 - ALL FRAMELESS OR FULLY GLAZED DOORS, SIDELIGHTS, INCLUDING ANY GLAZING CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING, SHALL BE CLEARLY MARKED FOR THEIR FULL WIDTH WITH A SOLID CONTRASTING LINE. THE CONTRASTING LINE SHALL NOT BE LESS THAN 75mm WIDE AND SHALL EXTEND ACROSS FULL WIDTH OF THE GLAZING PANEL. THE LOWER EDGE OF THE CONTRASTING LINE SHALL BE LOCATED BETWEEN 900mm & 1000mm ABOVE THE PLANE OF THE FINISHED FLOOR LEVEL. ANY CONTRASTING LINE ON THE GLAZING SHALL PROVIDE A MINIMUM OF 30% LUMINANCE CONTRAST WHEN VIEWED AGAINST THE FLOOR SURFACE OR SURFACES WITHIN 2.0m OF THE GLAZING ON THE OPPOSITE SIDE.

SIGNS, INCLUDING SYMBOLS, NUMBERING & LETTERING SHOULD BE LOCATED AS SPECIFIED IN AS1428.1 -2009.

SCREENING NOTE

SCREENING OF A DOORWAY FROM A ROOM CONTAINING A CLOSET PAN, MUST COMPLY WITH **NCC 2022 F6D9 RESTRICTION ON LOCATION OF SANITARY COMPARTMENTS AND F6D10 AIRLOCKS**; AND AS 1428.1-2009. DESIGN FOR ACCESS & MOBILITY, PART 1: GENERAL REQUIREMENTS FOR ACCESS- NEW BUILDING WORK.

RAMPS MUST COMPLY WITH AS1428.1 - 2009, WHICH INCLUDE THE FOLLOWING REQUIREMENTS:
IF THE RAMP IS TO BE USED BY THE PUBLIC, TACTILE GROUND SURFACE INDICATORS AT THE TOP & BOTTOM OF THE RAMP ARE REQUIRED AND MUST COMPLY WITH **NCC 2022 PART D4D9**, AS1428.1 & AS 1428.4.1. (TGS 600mm - 800mm DEEP x WIDTH OF RAMP (TYPICALLY 1.2m WIDE). TGS I TO BE SETBACK 300mm FROM THE TOP & BOTTOM OF RAMP)



THE STAIR PROVIDING ACCESS TO THE UPPER LEVEL MUST COMPLY WITH AS1428.1 - 2009, WHICH INCLUDE THE FOLLOWING REQUIREMENTS:

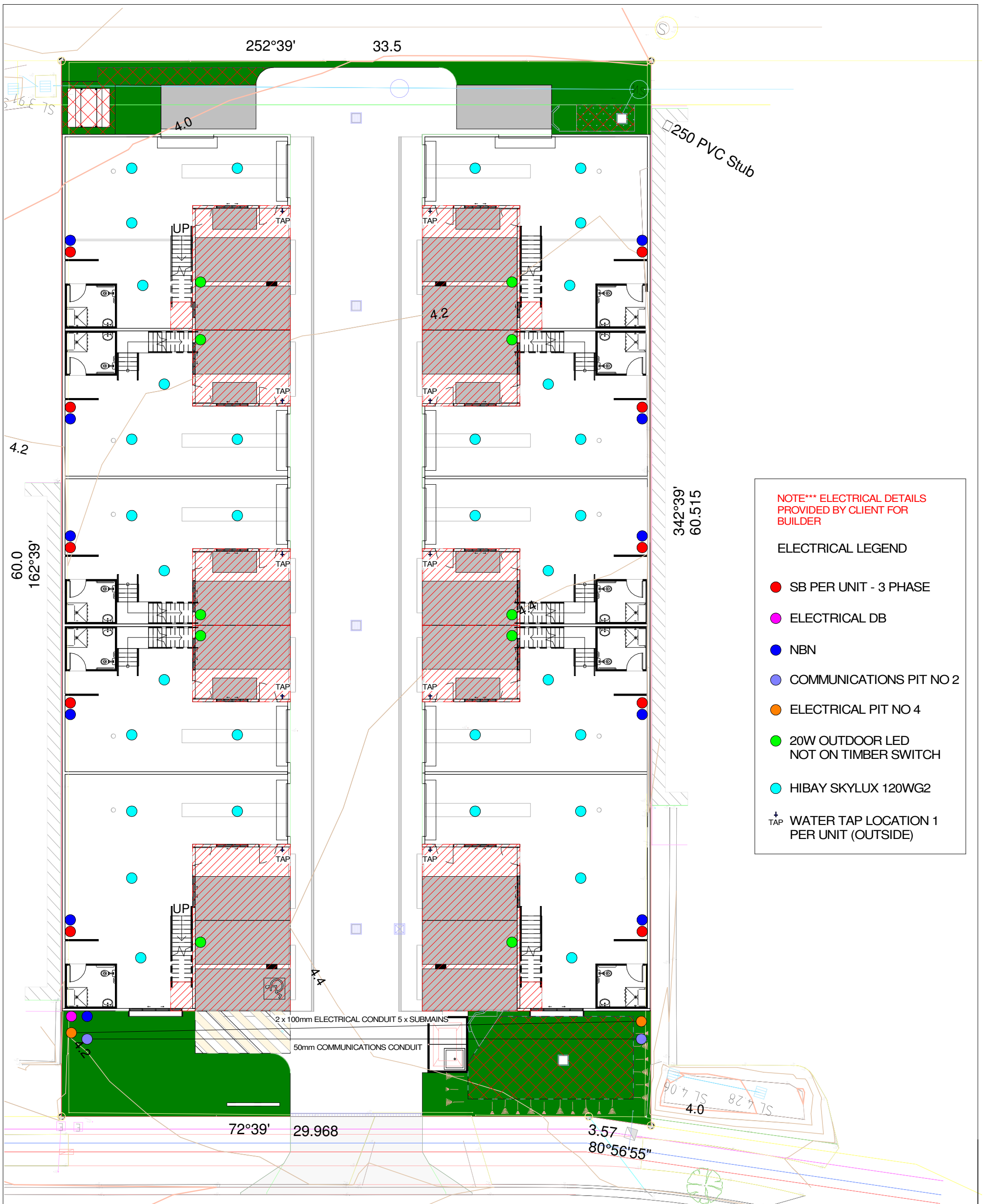
1. A CONTRASTING COLOUR STRIP 50-75mm WIDE AT THE NOSING OF TREADS; AND
2. HANDRAILS ALONG EACH SIDE OF THE STAIRWAY; EXTEND BY 300mm AT THE BOTTOM; AND
3. A MINIMUM CLEAR STAIRWAY WIDTH OF 1000mm BETWEEN HANDRAILS; AND
4. IF THE STAIRS ARE TO BE USED BY THE PUBLIC, TACTILE GROUND SURFACE INDICATORS AT THE TOP & BOTTOM OF THE STAIRWAY (TGS I 600mm - 800mm DEEP x WIDTH OF STAIR (TYPICALLY 1.2m WIDE). TGS I TO BE SETBACK 300mm FROM THE FIRST RISK AT TOP OF STAIR & SETBACK ONE TREAD WIDTH AT THE BOTTOM OF STAIR)

REFER TO PART 11.1 (C) OF AS1428.1-2009. STAIRS TO HAVE OPAQUE RISERS (NOT OPEN RISERS)

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Issue	Date	Subject	Initial	Auth
Amendments				

Client	PRICE DEVELOPMENTS
LOT 17 ACCESS CRESCENT, COOLUM, QLD	
Drawing Description ACCESSIBLE DETAILS	
Drawn	SB
Checked	DJ
Scale	As indicated
Date	11.10.22
Project No.	2022-48
Sheet No.	12 OF 17
WORKING DWGS	
Issue	Q



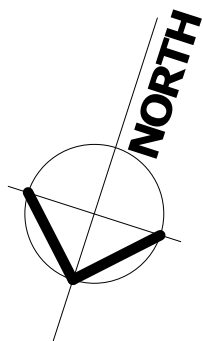
NOTE* ELECTRICAL DETAILS PROVIDED BY CLIENT FOR BUILDER**

ELECTRICAL LEGEND

- SB PER UNIT - 3 PHASE
- ELECTRICAL DB
- NBN
- COMMUNICATIONS PIT NO 2
- ELECTRICAL PIT NO 4
- 20W OUTDOOR LED NOT ON TIMBER SWITCH
- HIBAY SKYLUX 120WG2
- + TAP WATER TAP LOCATION 1 PER UNIT (OUTSIDE)

GROUND ELECTRICAL PLAN

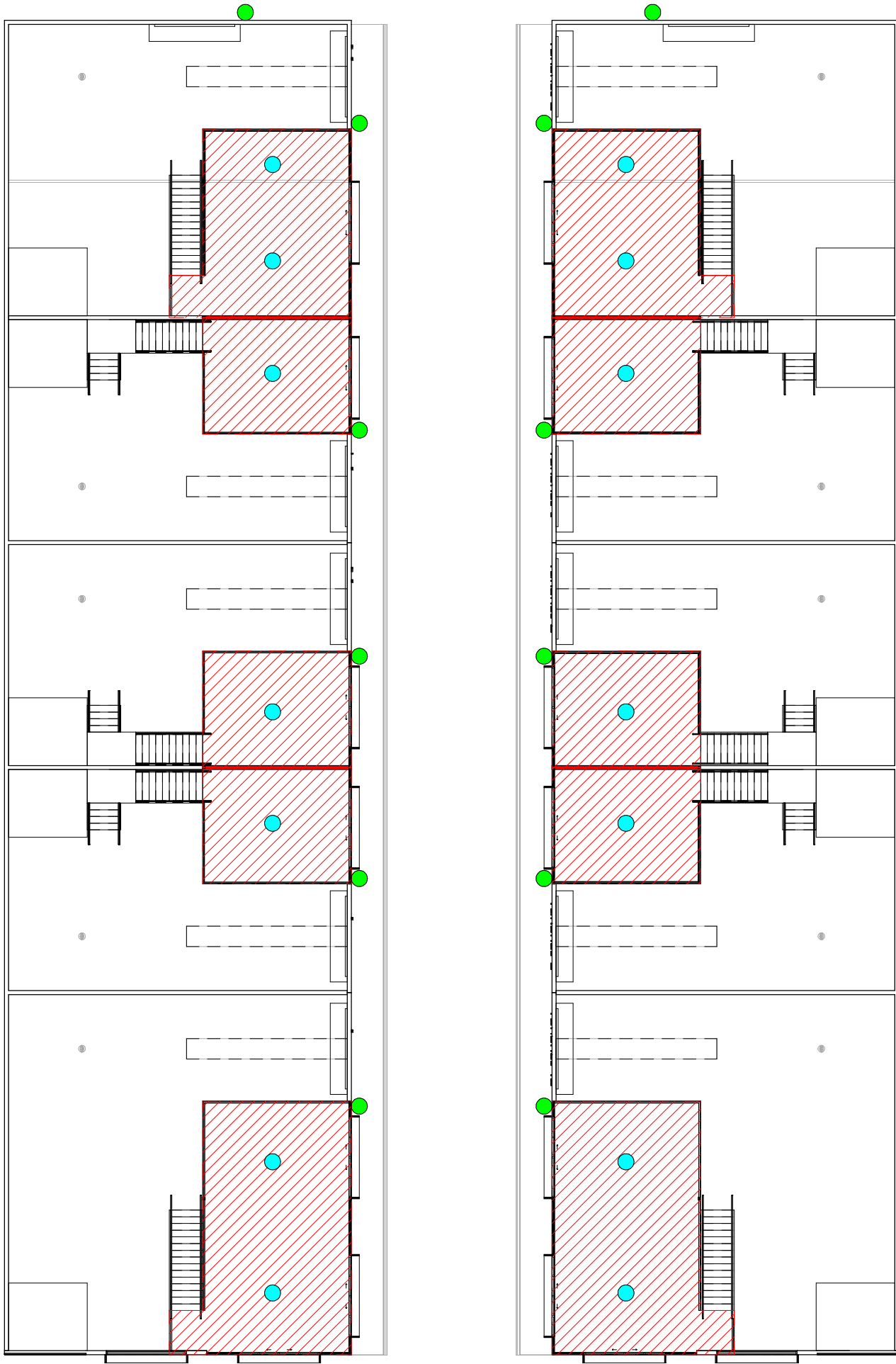
SCALE: 1:200 @ A3



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Issue	Date	Subject	Initial	Auth
Q	31.07.23	FIRE RATED NOTE CHANGES	SB	DJ
P	06.07.23	CHECK STRUCTURAL ENGINEERS DWGS	SB	DJ
O	31.05.23	ENGINEERS PANEL / WINDOW CHANGES	SB	DJ
N	11.05.23	CLIENTS MEZZANINE WINDOW CHANGES	SB	DJ
M	10.05.23	CLIENTS MEZZANINE WINDOW CHANGES	SB	DJ
L	05.05.23	PRELIM WORKING DRAWINGS	SB	DJ
K	29.03.23	CIVIL CHANGES - PFLS AREAS	SB	DJ
J	27.02.23	PRELIM WORKING DRAWINGS	SB	DJ
I	03.02.23	MOVED REAR ROLLER DOORS TS & T6	SB	DJ
H	02.02.23	ADDED CIVIL / LANDSCAPE PLANS	SB	DJ
G	18.01.23	ALTERED SURVEY TEXT CLIENT REQ	SB	DJ
F	18.01.23	ADD DOORS / LETTERBOX / CLIENT REQ	SB	DJ
E	05.12.22	CLIENTS CHANGES SINKS	SB	DJ
D	02.12.22	CLIENTS CHANGES	SB	DJ
C	30.11.22	INSERTED SURVEY	SB	DJ
B	29.11.22	3D VIEWS ADDED	SB	DJ
A	11.10.22	SKETCH DWGS ISSUED	SB	DJ

Client	PRICE DEVELOPMENTS
LOT 17 ACCESS CRESCENT, COOLUM, QLD	
Drawing Description	
GROUND ELECTRICAL PLAN	
Drawn	SB
Checked	DJ
Scale	As indicated
Date	11.10.22
Project No.	2022-48
Sheet No.	14 OF 17
WORKING DWGS	Issue Q

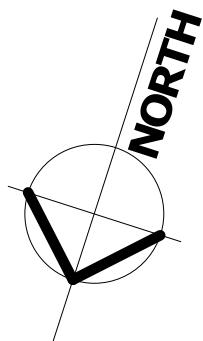


NOTE*** ELECTRICAL DETAILS PROVIDED BY CLIENT FOR BUILDER

ELECTRICAL LEGEND

- 20W OUTDOOR LED NOT ON TIMBER SWITCH
- HIBAY SKYLUX 120WG2 SWITCHED AT TOP OF STAIRS

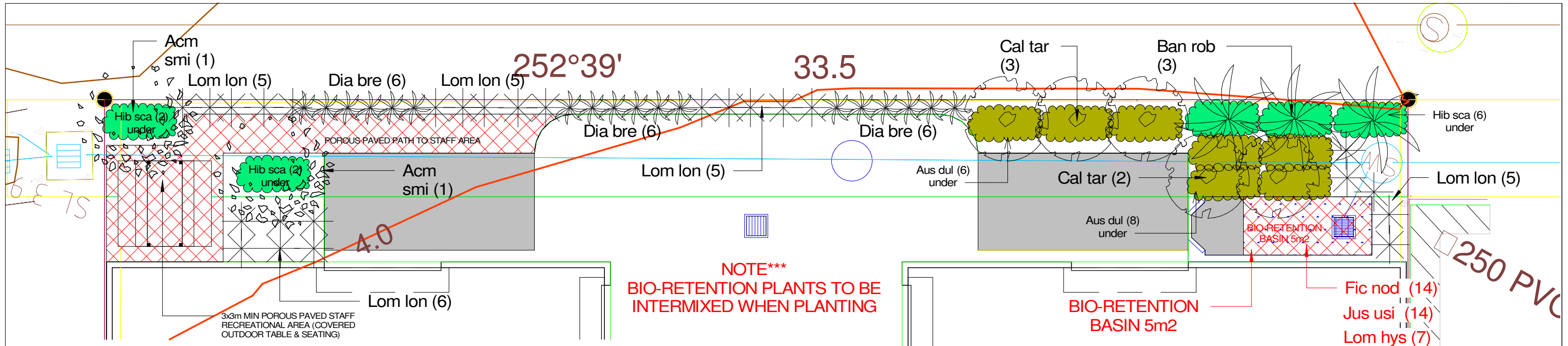
MEZZANINE ELECTRICAL PLAN
SCALE: 1:200 @ A3



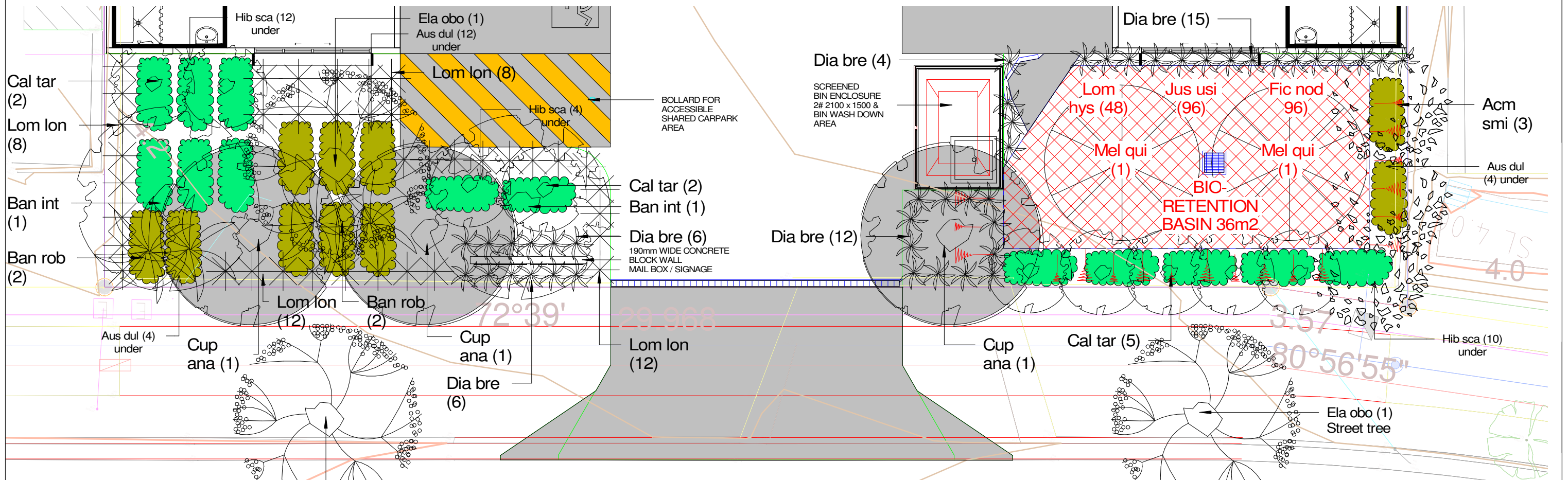
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O	31.05.23	ENGINEERS PANEL / WINDOW CHANGES	SB	DJ
P	06.07.23	FIRE RATED NOTE CHANGES	SB	DJ

Client PRICE DEVELOPMENTS	
LOT 17 ACCESS CRESCENT, COOLUM, QLD	
Drawing Description MEZZANINE ELECTRICAL PLAN	
Drawn SB	Checked DJ
Scale As indicated	Date 11.10.22
Project No. 2022-48	Sheet No. 15 OF 17
WORKING DWGS	Issue Q



L1 LANDSCAPE PLAN 1
1 : 100

















L2 LANDSCAPE PLAN 2
1 : 100

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LANDSCAPE SPECIES LEGEND

NO:	CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	COLOUR	POT SIZE
TREES							
2	Mel qui	<i>Melaleuca quinquinervia</i>	Paperbark Teatree	12m	6m	Cream	200 L
3	Cup ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	5-8m	6m	Cream	200 L
3	Ela obo	<i>Elaeocarpus obovatus</i>	Blueberry Ash	12m	4m	-	200 L
2	Ban int	<i>Banksia integrifolia</i>	Coastal Banksia	15m	3m	Yellow	200 L
LARGE SHRUBS							
7	Ban rob	<i>Banksia robur</i>	Swamp Banksia	2-3m	2-3m	Yellow	100 L
14	Cal tar	<i>Callistemon taree pink</i>	Pink bottle brush	3m	1.5m	Pink	100L
5	Acm smi	<i>Acmena smithii</i>	Lilly Pilly	10m	3m	Pink	100 L
SMALL SHRUBS							
54	Lom lon	<i>Lomandra longifolia</i>	Mat rush	1m	1m	-	200mm
61	Dia bre	<i>Dianella brevipedunculata</i>	Blue Flax Lily	1m	1m	Purple	200mm
GROUND COVERS							
36	Hib sca	<i>Hibbertia scandens</i>	Snake Vine	0.2m	2.5m	Yellow	140mm
34	Aus dul	<i>Austromyrtus dulcis</i>	Midgen Berry	0.5m	0.8m	White	140mm
GRASSES & SEDGES (Bio-Retention Basin Plants)				QTY / m2			
55	Lom hys	<i>Lomandra hystrix</i>	Katie Bells	0.5-1.0m	4 per m2	Yellow	Tube stock
110	Jun usi	<i>Juncus usitatus</i>	Common Rush	0.3-1.2m	8 per m2	-	Tube stock
110	Fic nod	<i>Ficinia nodosa</i>	Knobby Club-Rush	0.5m-1.5m	8 per m2	-	Tube stock

LANDSCAPE SPECIES PHOTOS

TREES				
	Melaleuca quinquinervia	Cupaniopsis anacardioides	Elaeocarpus obovatus	Banksia integrifolia
LARGE SHRUBS				
	Banksia robur	Callistemon taree pink	Acmena smithii	
SMALL SHRUBS				
	Lomandra longifolia	Dianella brevipedunculata		
GROUND COVERS				
	Hibbertia scandens	Austromyrtus dulcis		
GRASSES / SEDGES				
	Lomandra hystrix	Juncus usitatus	Ficinia nodosa	

LANDSCAPE NOTES

PREPARATION OF GARDEN BEDS FOR PLANTING:

CULTIVATE EXISTING SOIL IN NATURAL GROUND TO A MINIMUM DEPTH OF 150mm. IMPORT CLEAN TOPSOIL (SANDY LOAM) TO A MINIMUM DEPTH OF 300mm, ABOVE ORIGINAL GROUND LEVEL. ORGANIC MATTER OR GYPSUM ETC. MAY ALSO BE ADDED AS NECESSARY TO IMPROVE THE SOIL FOR THE BEST POSSIBLE GROWTH. TEST THE SOIL USING A 'SOIL TEST KIT' TO ENSURE IT IS HEALTHY AND AMEND AS NECESSARY.

ALL GARDEN BEDS TO BE MOUNDED 300mm MIN AT CENTRE OF BED, ABOVE FINISHED PAVEMENT LEVELS. TO PREVENT ANY PONDING AROUND PLANTS.

FERTILIZE USING A SLOW RELEASE FERTILIZER IN 'PILL' OR 'GRANULE' FORM, AT TIME OF PLANTING. ENSURE THAT FERTILIZER DOES NOT DIRECTLY CONTACT ROOTS.

INSTALL AN AUTOMATIC IRRIGATION SYSTEM WITH TIMER. PLACE IRRIGATION LINE AFTER PLANTING & PRIOR TO MULCHING.

USE ONLY SUN 'HARDENED' PLANTS. ENSURE HEALTHY ROOT SYSTEM TO ALL PLANTS TO BE USED. UNDER NO CIRCUMSTANCES ARE ROOT BOUND PLANTS TO BE USED.

TREES:

ALL 45L TREES AND LARGE SHRUBS WILL NEED TO BE STAKED SECURELY USING 1800mm STAKES x 2 OR 3 AS NECESSARY AND TIED TO STAKES USING HESSIAN WEBBING, (TO PREVENT PLANT DAMAGE UNTIL ESTABLISHED).

MULCH:

ALL GARDENS ARE BE MULCHED WITH 'TEA TREE' MULCH TO A MINIMUM DEPTH OF 100mm.

DRAINAGE:

PLEASE ENSURE ADEQUATE DRAINAGE IS INSTALLED BELOW GARDENS AND PAVED AND CONCRETED AREAS.

LOCATION OF SERVICES AND LEVELS:

PLEASE REFER HYDRAULICS PLAN FOR FULL INFORMATION ON SERVICES TYPE AND LOCATION AND FINISHED LEVELS.

CONCRETE:

STENCILLED CONCRETE IS TO BE USED AS THE FINISH FOR THE ENTRY PATHWAY WHERE SHOWN.

A STENCILLED CONCRETE FINISH IN A COLOUR AND STYLE COMPLIMENTARY TO THE BUILDING IS TO BE APPLIED BY A QUALIFIED PERSON ACCORDING TO BEST INDUSTRY STANDARDS.

GENERAL NOTES:

CONCRETE ROLLBACK KERB FOR CAR PARK EDGES AND GARDEN BOUNDARIES AS NECESSARY, TO ENGINEER'S DETAIL.

MAINTENANCE:

IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE PROPERTY TO A SATISFACTORY STANDARD TO COUNCIL'S APPROVAL.

A MAINTENANCE REGIME MUST BE PROGRAMMED TO MAINTAIN MULCH, WATER, FERTILIZER, PRUNING AND THE CARE AND/OR REPLACEMENT OF ANY DAMAGED OR DISEASED PLANT.

SHORT TERM

FOR THE FIRST 4 WEEKS ALL PLANTS MUST BE WATERED FOR 20mins PER DAY min. REDUCING TO 10mins PER DAY FOR FOLLOWING 5 MONTHS, (ALWAYS WATER IN RELATION TO RAINFALL).

LONG TERM

FERTILIZE ALL PLANTS EACH SPRING & WHEN REQUIRED DURING THE YEAR. ENSURE USE OF A NATIVE 'FRIENDLY' FERTILIZER.

TREES & SHRUBS TO BE PRUNED AFTER FLOWERING TO MAINTAIN HEALTHY GROWTH AND SHAPE. PRUNE AT THE NODE FOR ALL NATIVES. NEVER 'HARD PRUNE' A PLANT UNLESS ON RELIABLE AUTHORITY.

DUE TO BREAKING DOWN, ORGANIC MULCH NEEDS TO BE 'TOPPED UP' EVERY FEW YEARS TO MAINTAIN A THICK COVER.

STAKES AND WEBBING WHICH SUPPORT TREES MAY BE REMOVED AFTER TREES ARE SUITABLY ESTABLISHED.



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J	27.02.23	PRELIM WORKING DRAWINGS	SB	DJ
I	03.02.23	MOVED REAR ROLLER DOORS TR & TB	SB	DJ
H	02.02.23	ADDED CIVIL / LANDSCAPE PLANS	SB	DJ
G	18.01.23	ALTERED SURVEY TEXT CLIENT REQ	SB	DJ
F	18.01.23	ADD DOORS / LETTERBOX / CLIENT REQ	SB	DJ
E	05.12.22	CLIENTS CHANGES SINKS	SB	DJ
D	02.12.22	CLIENTS CHANGES	SB	DJ
C	30.11.22	INSERTED SURVEY	SB	DJ
B	29.11.22	3D VIEWS ADDED	SB	DJ
A	11.10.22	SKETCH DWGS ISSUED	SB	DJ

Issue Date Subject Initial Auth

Amendments

Client PRICE DEVELOPMENTS

LOT 17 ACCESS CRESCENT,
COOLUM, QLD

Drawing Description
LANDSCAPE DETAILS

Drawn SB Checked DJ

Scale As indicated Date 11.10.22

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WORKING DWGS Issue Q